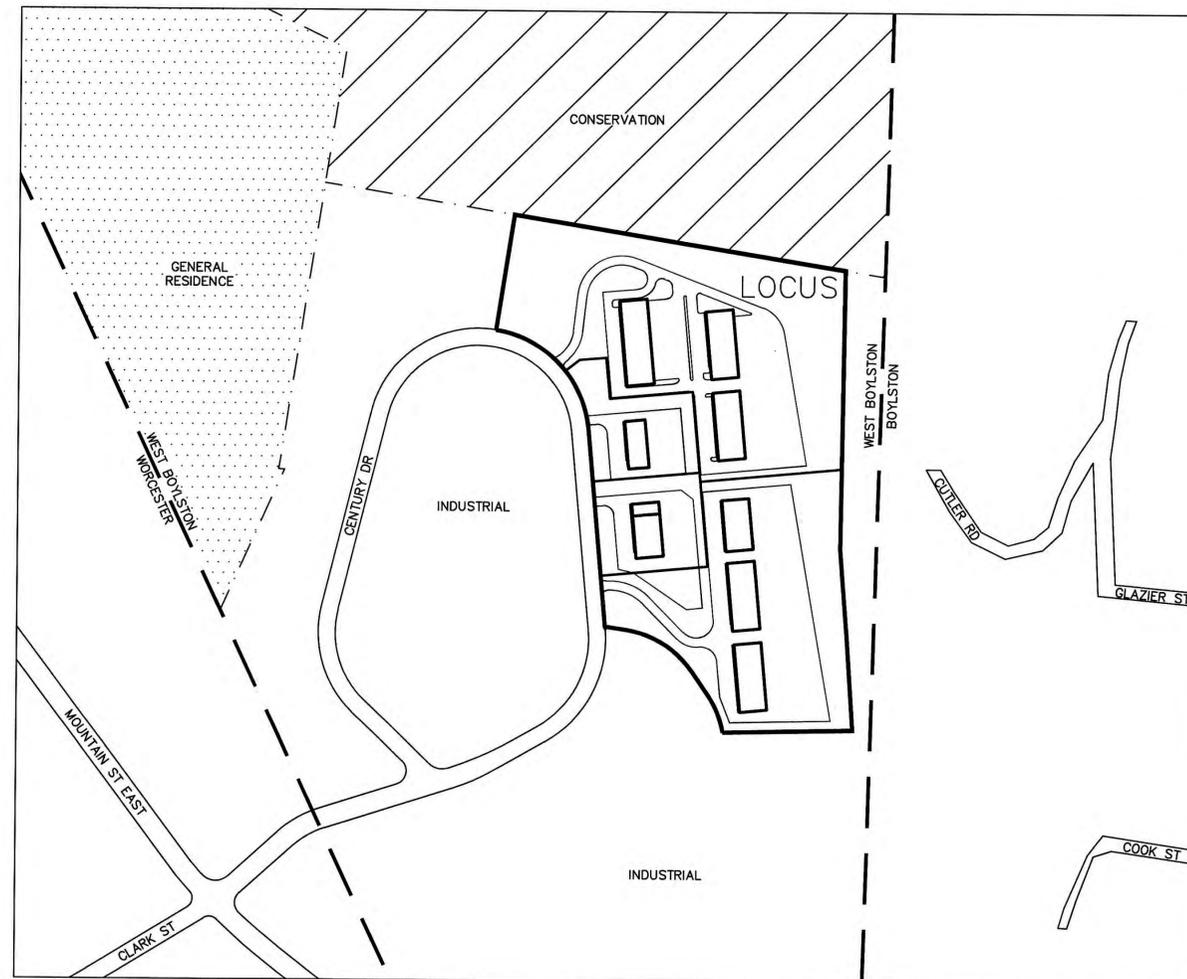


SITE DEVELOPMENT PLAN

AT

CENTURY DRIVE

WEST BOYLSTON, MASSACHUSETTS 01583



INDEX DESCRIPTION	SHEET NUMBER	
COVER	1	OF 17
EXISTING CONDITIONS PLANS	2-3	OF 17
LAYOUT PLANS	4-5	OF 17
GRADING AND DRAINAGE PLANS	6-7	OF 17
UTILITY PLANS	8-9	OF 17
LANDSCAPE PLANS	10-11	OF 17
LIGHTING/PHOTOMETRIC PLANS	12-13	OF 17
EROSION & SEDIMENTATION CONTROL PLANS	14-15	OF 17
DETAIL PLANS	16-17	OF 17

RECORD APPLICANT:

BIRDLAND HILL, LLC
14 PUTNAM LANE
WORCESTER, MA 01604

RECORD OWNER:

BIRDLAND HILL, LLC
14 PUTNAM LANE
WORCESTER, MA 01604

LAND PLANNERS—CIVIL ENGINEERS:

J.M. GRENIER ASSOCIATES INC.
118 TURNPIKE ROAD SUITE 200
SOUTHBOROUGH, MA 01772

LAND SURVEYORS:

TAUPER LAND SURVEY INC.
710 MAIN STREET
NORTH OXFORD, MA 01537

ZONING DISTRICT: INDUSTRIAL (I)

LOCUS:
SCALE: 1"=250'



SITE PLAN APPROVAL
WEST BOYLSTON PLANNING BOARD

[Signature]

DATE: 11/8/23

4	9/14/23	TOWN COMMENTS
3	8/16/23	TOWN COMMENTS / VHB COMMENTS
2	8/10/23	TOWN COMMENTS / VHB COMMENTS
1	6/14/23	TOWN COMMENTS / VHB COMMENTS
REV. NO.	DATE	REVISION
SCALE: AS SHOWN		DATE: FEBRUARY 28, 2023
COVER SHEET		
SHEET NO.: SHEET 1 OF 17	PROJECT NO.: G-664	

NOTES:

- STOPPING DISTANCE ON A ROADWAY WITH 30 MPH DESIGN SPEED IS 200 FEET AT A DRIVER'S EYE HEIGHT OF 3.5 FEET AND OBJECT HEIGHT OF 2.0 FEET. THIS REQUIRED SIGHT DISTANCE IS PROVIDED FOR ALL DRIVEWAY ENTRANCE LOCATION. SEE LAYOUT PLAN, REFERENCE AASHTO 2004 POLICY ON GEOMETRIC DESIGN OF HIGHWAYS AND STREETS EXHIBIT 3-1.
- INTERSECTION SIGHT DISTANCE ON A ROADWAY WITH 30 MPH DESIGN SPEED IS 335 FEET FOR A LEFT TURN FROM STOP AND 290 FEET FOR A RIGHT TURN FROM STOP AT A DRIVER'S EYE HEIGHT OF 3.5 FEET AND OBJECT HEIGHT OF 2.0 FEET. THIS REQUIRED SIGHT DISTANCE IS PROVIDED FOR ALL DRIVEWAY ENTRANCE LOCATION. SEE LAYOUT PLAN, REFERENCE AASHTO 2004 POLICY ON GEOMETRIC DESIGN OF HIGHWAYS AND STREETS EXHIBITS 9-55 AND 9-58.
- SIZE AND LOCATION OF ALL SIGNAGE IS APPROXIMATE ONLY AND FINAL DESIGNS WILL BE DETERMINED BY NEEDS OF TENANTS.

ZONING SUMMARY:

CURRENT ZONE: INDUSTRIAL (I)

	LOT 1	LOT 2	LOT 3	LOT 4
MIN. LOT AREA	2 AC.	11.87 AC.	2.01 AC.	2.48 AC.
MIN. FRONTAGE	150'	242.98'	341.46'	277.00'
MIN. LOT WIDTH	150'	237.36'	238.00'	277.00'
MIN FRONT YARD SETBACK	50'	176.9'	108.4'	108.4'
MIN SIDE YARD SETBACK	10'	34.0'	27.8'	47.3'
MIN. REAR YARD SETBACK	10'	283.4'	146.5'	126.5'
MAX. BUILDING HEIGHT	50'	<50'	<50'	<50'
MAX. LOT COVERAGE	40%	10.1%	9.6%	11.8%

PARKING SPACE & LOADING REQUIREMENTS:

LOT	OFFICE	STORAGE	REQUIREMENTS
LOT 1	1/500 SQ.FT X 13,000 SQ.FT.	1/3,000 SQ.FT. X 39,000 SQ.FT.	= 26 SPACES = 13 SPACES
LOT 2	1/500 SQ.FT X 2,800 SQ.FT.	1/3,000 SQ.FT. X 5,600 SQ.FT.	= 6 SPACES = 2 SPACES
LOT 3	1/500 SQ.FT X 5,600 SQ.FT.	1/3,000 SQ.FT. X 10,000 SQ.FT.	= 12 SPACES = 4 SPACES
LOT 4	1/500 SQ.FT X 11,000 SQ.FT.	1/3,000 SQ.FT. X 33,000 SQ.FT.	= 22 SPACES = 11 SPACES

LOADING	REQUIRED	PROVIDED
LOT 1 - 1	FOR 10,000-50,000 SQ.FT. X 3 BLDGS = 3 SPACES	9 SPACES
LOT 2 - 0	FOR 0,000-10,000 SQ.FT. X 1 BLDG = 0 SPACES	1 SPACE
LOT 3 - 1	FOR 10,000-50,000 SQ.FT. X 1 BLDG = 1 SPACE	1 SPACE
LOT 4 - 1	FOR 10,000-50,000 SQ.FT. X 3 BLDGS = 3 SPACES	9 SPACES

SITE PLAN APPROVAL
WEST BOYLSTON PLANNING BOARD

[Signature]
[Signature]

DATE: 11-8-23

LEGEND:

---	EXISTING PROPERTY LINE
---	PROPOSED PROPERTY LINE
---	EXISTING EASEMENT LINE
-615-	EXISTING CONTOUR - HIGH
-612-	EXISTING CONTOUR - LOW
-615-	PROPOSED CONTOUR - HIGH
-612-	PROPOSED CONTOUR - LOW
---	EXISTING EDGE PAVEMENT
---	EXISTING CURB
---	PROPOSED EDGE OF PAVEMENT
---	PROPOSED CURB
---	EDGE VEGETATED WETLAND
---	WETLAND BUFFER
D	EXISTING DRAIN LINE
D	PROPOSED DRAIN LINE
S	EXISTING SEWER LINE
S	PROPOSED SEWER LINE
W	EXISTING WATER LINE
W	PROPOSED WATER LINE
G	EXISTING GAS LINE
G	PROPOSED GAS LINE
---	EXISTING OVERHEAD WIRES
---	EXISTING UNDERGROUND ELECTRIC
---	PROPOSED UNDERGROUND ELECTRIC
---	EXISTING TREE LINE
---	PROPOSED TREE LINE
---	PROPOSED EROSION CONTROL
---	ZONE LINE

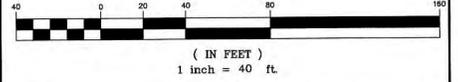
NOTES:

- LOCATION AND SIZES OF DUMPSTERS TO BE DETERMINED BASED ON NEEDS OF TENANTS. ALL DUMPSTERS WILL BE LOCATED IN THE REAR OF LOTS AND SCREENED.
- LOCATION AND NUMBER OF LOADING SPACES TO BE DETERMINED BASED ON GROSS FLOOR AREA ALLOCATED TO INDIVIDUAL TENANTS.
- LOCATION OF HANDICAP RAMPS AND SPACES TO BE COORDINATED WITH ARCHITECTURAL PLANS AS DOOR LOCATIONS MAY VARY.



9/14/23

GRAPHIC SCALE



4	9/14/23	TOWN COMMENTS
3	8/16/23	TOWN COMMENTS / VHB COMMENTS
2	8/10/23	TOWN COMMENTS / VHB COMMENTS
1	6/14/23	TOWN COMMENTS / VHB COMMENTS

REV. NO.	DATE	REVISION

TITLE:
SITE DEVELOPMENT PLAN
AT
CENTURY DRIVE
WEST BOYLSTON, MASSACHUSETTS 01583

PREPARED FOR:
BIRDLAND HILL, LLC
14 PUTNAM LANE
WORCESTER, MASSACHUSETTS 01604

PREPARED BY:
J.M. GRENIER ASSOCIATES INC.
118 TURNPIKE ROAD SUITE 200
SOUTHBOROUGH, MASSACHUSETTS 01772

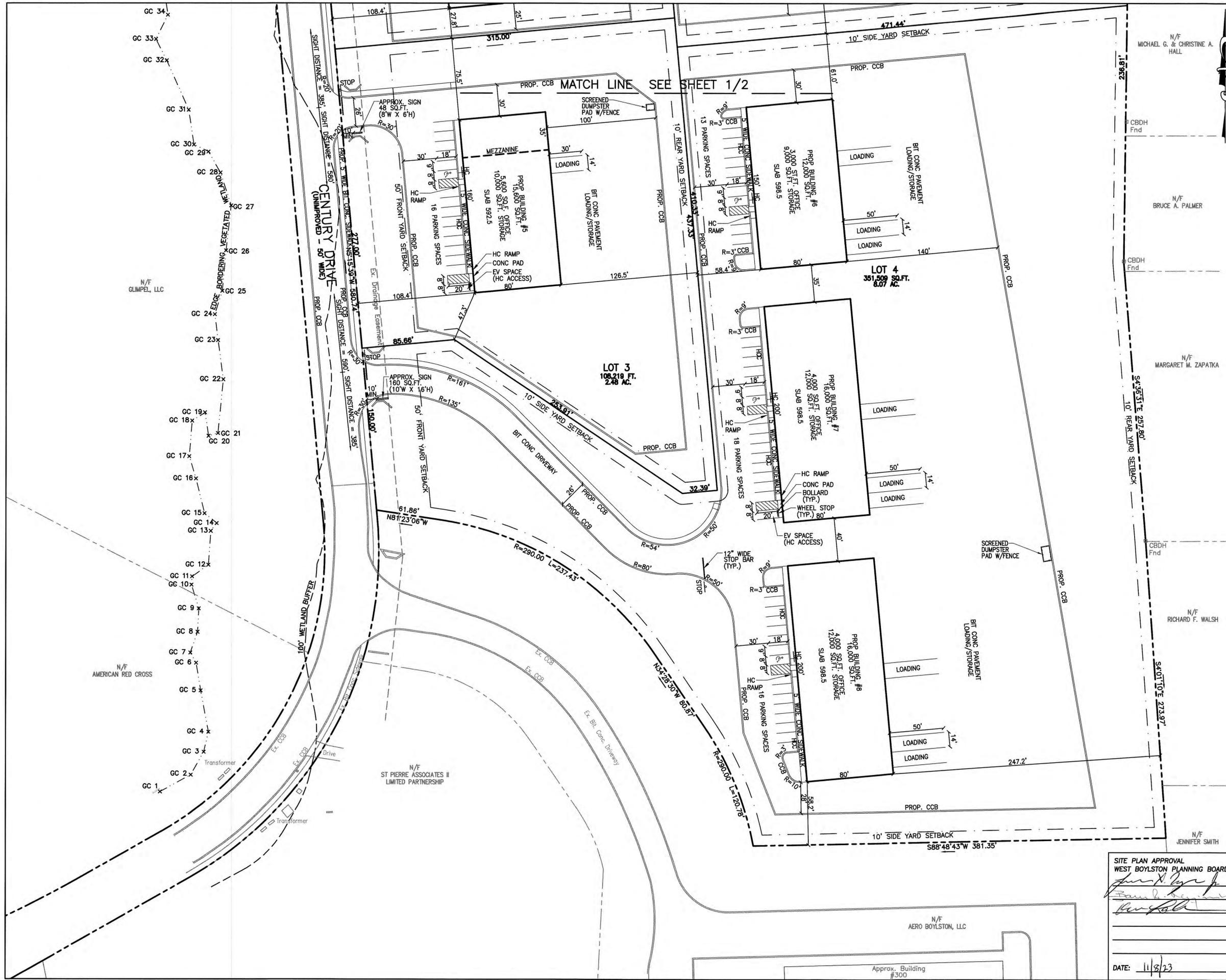
TELE NO.: (508) 845-2500 | jmgrenier@townisp.com

SCALE: 1" = 40' | **DATE:** FEBRUARY 28, 2023

LAYOUT PLAN 1/2
SHEET NO.: SHEET 4 OF 17 | **PROJECT NO.:** G-664



MATCH-LINE SEE SHEET 2/2

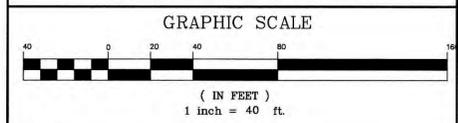


LEGEND:

- EXISTING PROPERTY LINE
- - - PROPOSED PROPERTY LINE
- - - EXISTING EASEMENT LINE
- - - EXISTING CONTOUR - HIGH
- - - EXISTING CONTOUR - LOW
- - - PROPOSED CONTOUR - HIGH
- - - PROPOSED CONTOUR - LOW
- - - EXISTING EDGE PAVEMENT
- - - EXISTING CURB
- - - PROPOSED EDGE OF PAVEMENT
- - - PROPOSED CURB
- - - EDGE VEGETATED WETLAND
- - - WETLAND BUFFER
- - - EXISTING DRAIN LINE
- - - PROPOSED DRAIN LINE
- - - EXISTING SEWER LINE
- - - PROPOSED SEWER LINE
- - - EXISTING WATER LINE
- - - PROPOSED WATER LINE
- - - EXISTING GAS LINE
- - - PROPOSED GAS LINE
- - - EXISTING OVERHEAD WIRES
- - - EXISTING UNDERGROUND ELECTRIC
- - - PROPOSED UNDERGROUND ELECTRIC
- - - EXISTING TREE LINE
- - - PROPOSED TREE LINE
- - - PROPOSED EROSION CONTROL
- - - ZONE LINE



9/14/23



REV. NO.	DATE	REVISION
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TITLE:
SITE DEVELOPMENT PLAN
AT
CENTURY DRIVE
WEST BOYLSTON, MASSACHUSETTS 01583

PREPARED FOR:
BIRDLAND HILL, LLC
14 PUTNAM LANE
WORCESTER, MASSACHUSETTS 01604

PREPARED BY:
J.M. GRENIER ASSOCIATES INC.
118 TURNPIKE ROAD SUITE 200
SOUTHBOROUGH, MASSACHUSETTS 01772
TELE NO.: (508) 845-2500 **jmrenier@townisp.com**

SCALE: 1" = 40' **DATE:** MARCH 28, 2023

LAYOUT PLAN 2/2

SHEET NO.: SHEET 5 OF 17 **PROJECT NO.:** G-664

SITE PLAN APPROVAL
WEST BOYLSTON PLANNING BOARD
[Signature]
[Signature]
[Signature]

DATE: 11/8/23

N/F GLIMPEL, LLC

N/F AMERICAN RED CROSS

N/F ST PIERRE ASSOCIATES II LIMITED PARTNERSHIP

N/F MICHAEL G. & CHRISTINE A. HALL

N/F BRUCE A. PALMER

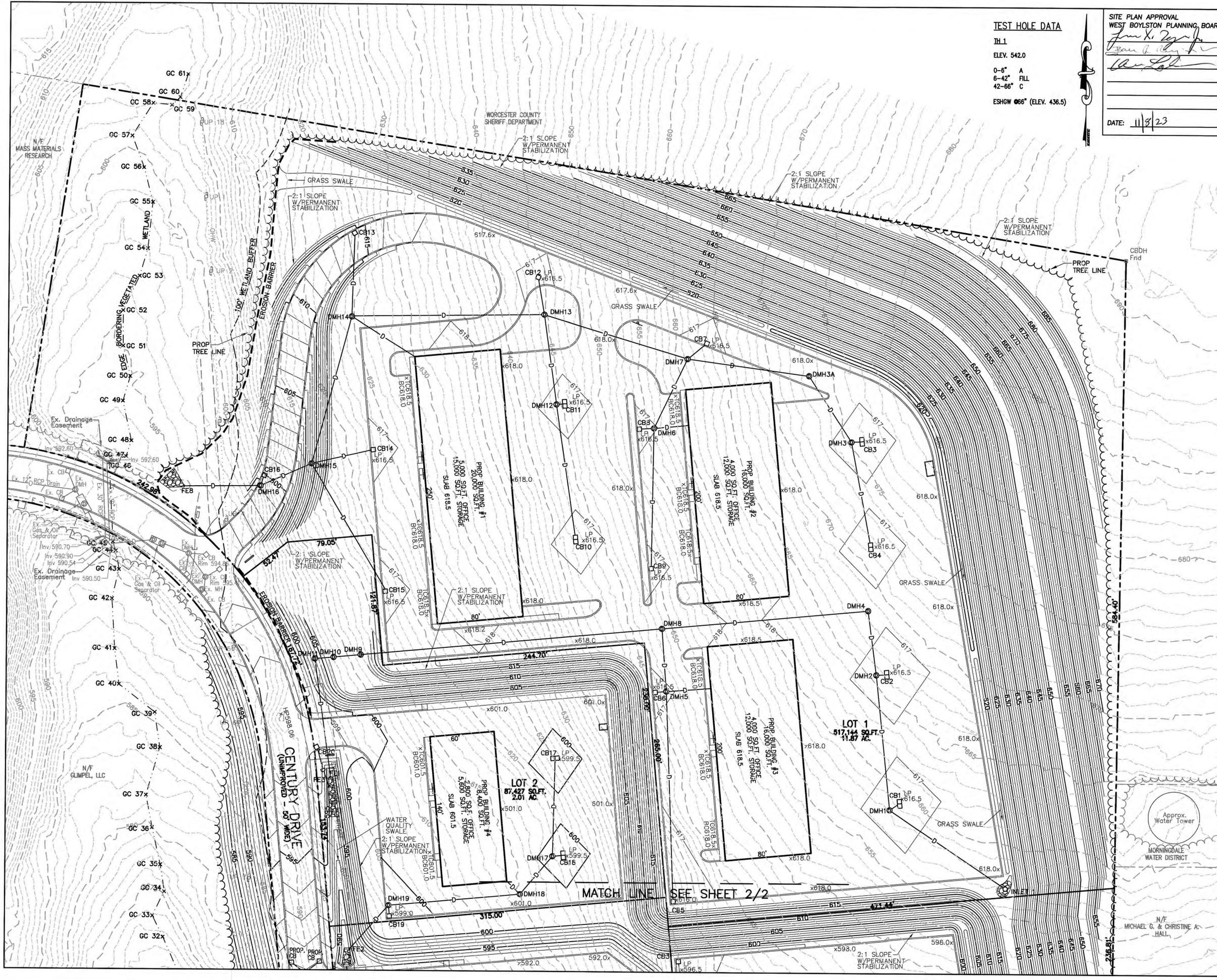
N/F MARGARET M. ZAPATKA

N/F RICHARD F. WALSH

N/F JENNIFER SMITH

N/F AERO BOYLSTON, LLC

Approx. Building #300



TEST HOLE DATA

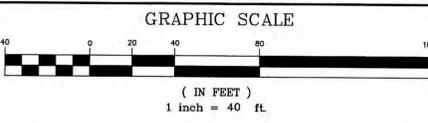
TH1
 ELEV. 542.0
 0-6" A
 6-42" FILL
 42-66" C
 ESHGW 066" (ELEV. 436.5)

SITE PLAN APPROVAL
 WEST BOYLSTON PLANNING BOARD

Jan X. Zyg...
Paul J. ...
 DATE: 11/8/23

LEGEND:

---	EXISTING PROPERTY LINE
- - -	PROPOSED PROPERTY LINE
- - -	EXISTING EASEMENT LINE
- - -	EXISTING CONTOUR - HIGH
- - -	EXISTING CONTOUR - LOW
- - -	PROPOSED CONTOUR - HIGH
- - -	PROPOSED CONTOUR - LOW
- - -	EXISTING EDGE PAVEMENT
- - -	EXISTING CURB
- - -	PROPOSED EDGE OF PAVEMENT
- - -	PROPOSED CURB
- - -	EDGE VEGETATED WETLAND
- - -	WETLAND BUFFER
- - -	EXISTING DRAIN LINE
- - -	PROPOSED DRAIN LINE
- - -	EXISTING SEWER LINE
- - -	PROPOSED SEWER LINE
- - -	EXISTING WATER LINE
- - -	PROPOSED WATER LINE
- - -	EXISTING GAS LINE
- - -	PROPOSED GAS LINE
- - -	EXISTING OVERHEAD WIRES
- - -	EXISTING UNDERGROUND ELECTRIC
- - -	PROPOSED UNDERGROUND ELECTRIC
- - -	EXISTING TREE LINE
- - -	PROPOSED TREE LINE
- - -	PROPOSED EROSION CONTROL ZONE LINE



4	9/14/23	TOWN COMMENTS
3	8/16/23	TOWN COMMENTS / VHB COMMENTS
2	8/10/23	TOWN COMMENTS / VHB COMMENTS
1	6/14/23	TOWN COMMENTS / VHB COMMENTS

REV. NO.	DATE	REVISION
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TITLE:
 SITE DEVELOPMENT PLAN
 AT
 CENTURY DRIVE
 WEST BOYLSTON, MASSACHUSETTS 01583

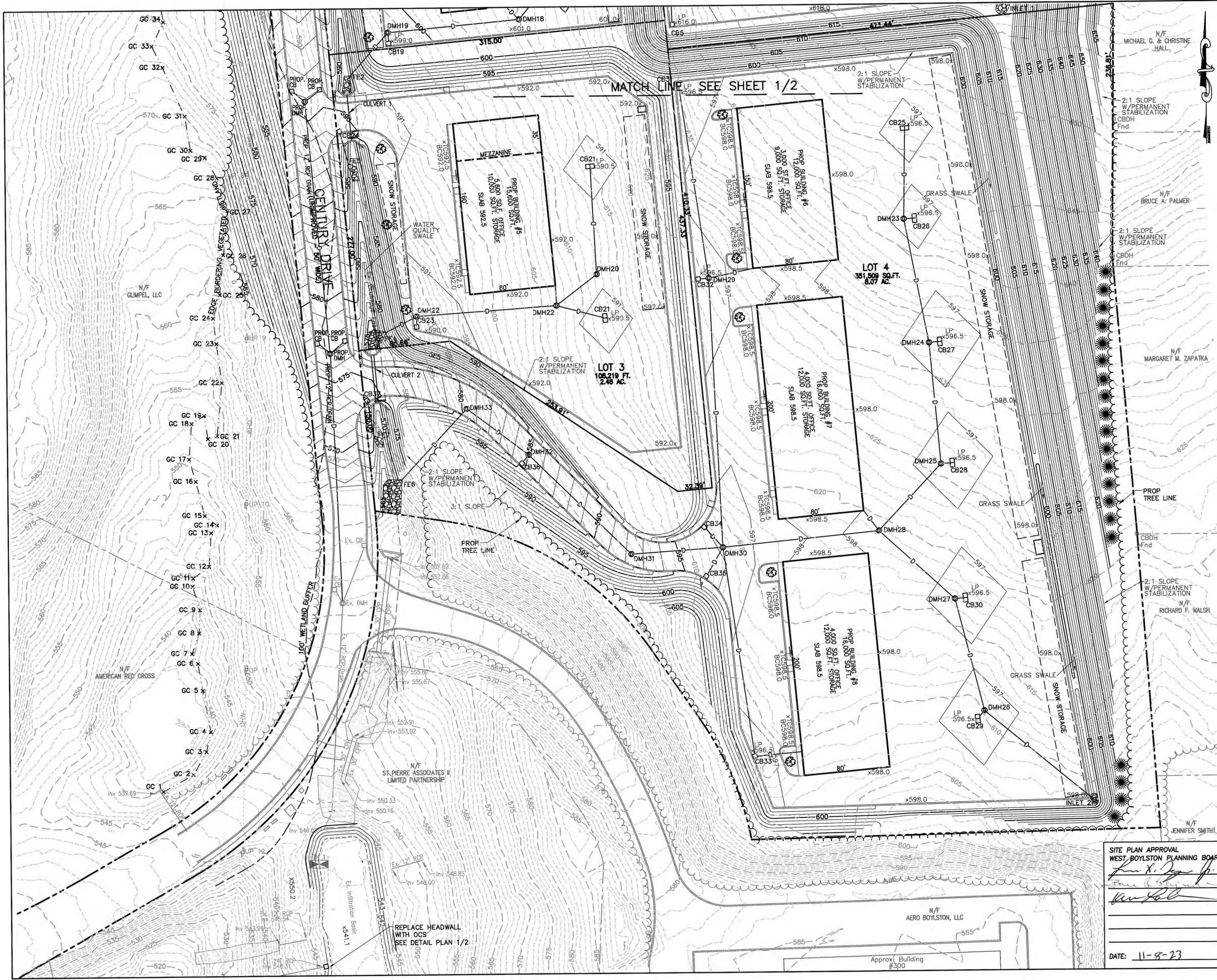
PREPARED FOR:
 BIRDLAND HILL, LLC
 14 PUTNAM LANE
 WORCESTER, MASSACHUSETTS 01604

PREPARED BY:
 J.M. GRENIER ASSOCIATES INC.
 118 TURNPIKE ROAD SUITE 200
 SOUTHBOROUGH, MASSACHUSETTS 01772
 TELE NO.: (508) 845-2500 jmgrenier@townisp.com

SCALE: 1" = 40' **DATE:** FEBRUARY 28, 2023

GRADING AND DRAINAGE PLAN 1/2

SHEET NO.: SHEET 6 OF 17 **PROJECT NO.:** G-664



LEGEND:

- EXISTING PROPERTY LINE
- - - PROPOSED PROPERTY LINE
- - - EXISTING EASEMENT LINE
- - - 615 EXISTING CONTOUR - HIGH
- - - 612 EXISTING CONTOUR - LOW
- - - 615 PROPOSED CONTOUR - HIGH
- - - 612 PROPOSED CONTOUR - LOW
- - - EXISTING EDGE PAVEMENT
- - - EXISTING CURB
- - - PROPOSED EDGE OF PAVEMENT
- - - PROPOSED CURB
- - - EDGE VEGETATED WETLAND
- - - WETLAND BUFFER
- - - EXISTING DRAIN LINE
- - - PROPOSED DRAIN LINE
- - - S EXISTING SEWER LINE
- - - S PROPOSED SEWER LINE
- - - W EXISTING WATER LINE
- - - W PROPOSED WATER LINE
- - - G EXISTING GAS LINE
- - - G PROPOSED GAS LINE
- - - EXISTING OVERHEAD WIRES
- - - E EXISTING UNDERGROUND ELECTRIC
- - - ETC PROPOSED UNDERGROUND ELECTRIC
- - - EXISTING TREE LINE
- - - PROPOSED TREE LINE
- - - PROPOSED EROSION CONTROL
- - - ZONE LINE

N/F
MICHAEL G. & CHRISTINE HALL

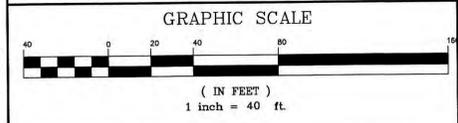
N/F
BRUCE A. PALMER

N/F
MARGARET M. ZAPATKA

N/F
RICHARD F. WALSH

N/F
JENNIFER SMITH

9/14/23



REV. NO.	DATE	REVISION
4	9/14/23	TOWN COMMENTS
3	8/16/23	TOWN COMMENTS / VHB COMMENTS
2	8/10/23	TOWN COMMENTS / VHB COMMENTS
1	6/14/23	TOWN COMMENTS / VHB COMMENTS

TITLE:

**SITE DEVELOPMENT PLAN
AT
CENTURY DRIVE
WEST BOYLSTON, MASSACHUSETTS 01583**

PREPARED FOR:

**BIRDLAND HILL, LLC
14 PUTNAM LANE
WORCESTER, MASSACHUSETTS 01604**

PREPARED BY:

**J.M. GRENIER ASSOCIATES INC.
118 TURNPIKE ROAD SUITE 200
SOUTHBOROUGH, MASSACHUSETTS 01772**

TELE NO.: (508) 845-2500 jmgrenier@townisp.com

SCALE: 1" = 40' **DATE:** FEBRUARY 28, 2023

GRADING AND DRAINAGE PLAN 2/2

SHEET NO.: SHEET 7 OF 17	PROJECT NO.: G-664
------------------------------------	------------------------------

SITE PLAN APPROVAL

JOHN P. GRENIER
 REGISTERED PROFESSIONAL ENGINEER
 No. 47312
 STATE OF MASSACHUSETTS

DATE: 11-8-23

MATCH LINE SEE SHEET 1/2

**LOT 3
108,219 SQ. FT.
2.48 AC.**

**LOT 4
351,509 SQ. FT.
8.07 AC.**

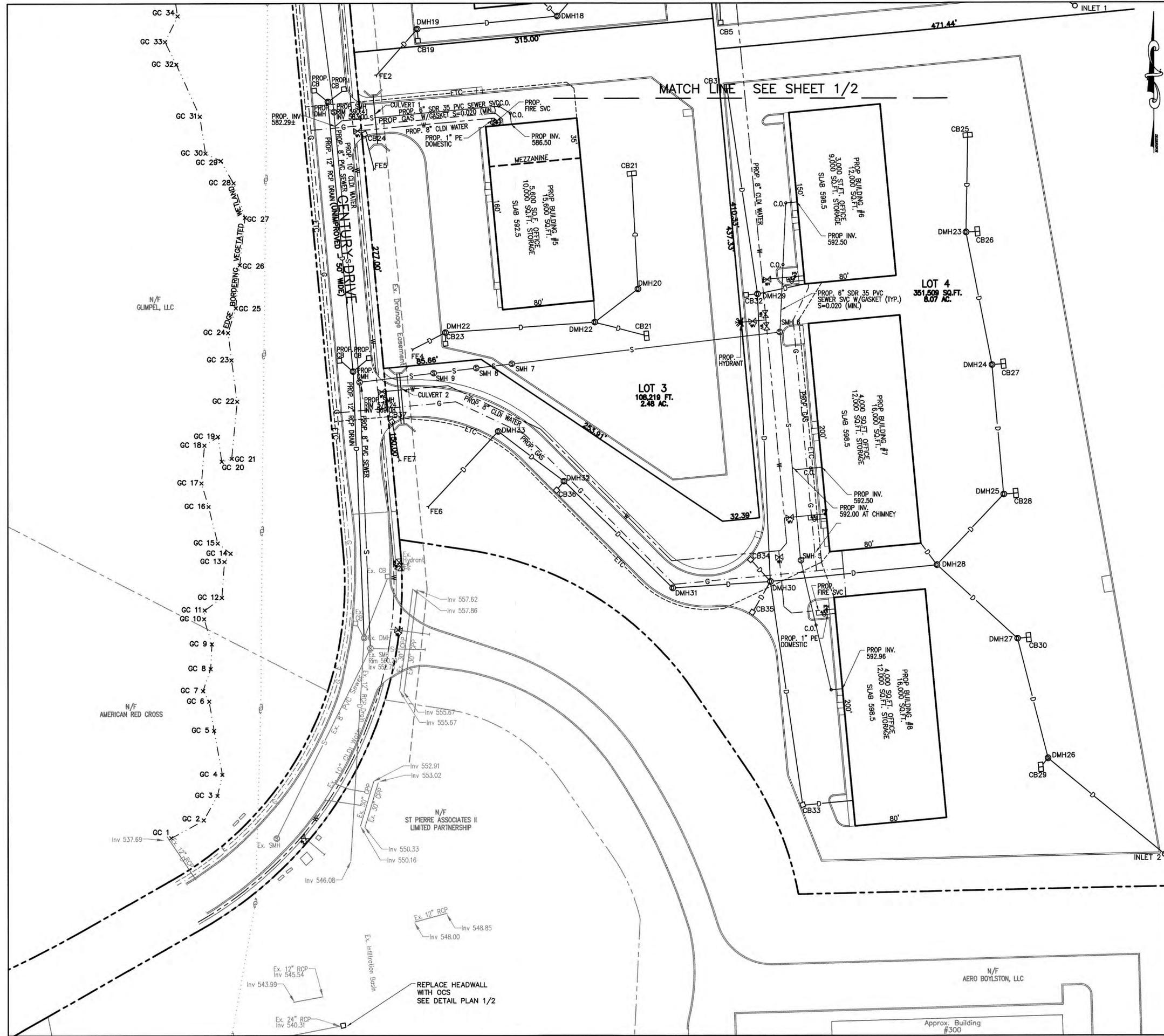
CENTURY DRIVE

GC 34x
GC 33x
GC 32x
GC 31x
GC 30x
GC 29x
GC 28x
GC 27x
GC 26x
GC 25x
GC 24x
GC 23x
GC 22x
GC 21x
GC 20x
GC 19x
GC 18x
GC 17x
GC 16x
GC 15x
GC 14x
GC 13x
GC 12x
GC 11x
GC 10x
GC 9x
GC 8x
GC 7x
GC 6x
GC 5x
GC 4x
GC 3x
GC 2x
GC 1x

REPLACE HEADWALL WITH OCS SEE DETAIL PLAN 1/2

N/F AERO BOYLSTON, LLC

Approx. Building #300



SEWER SCHEDULE

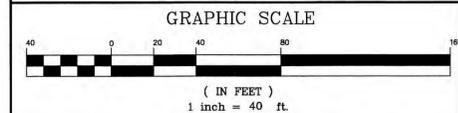
SMH 1	RIM 617.5
SMH 2	RIM 618.0
SMH 3	RIM 612.0
SMH 4	RIM 603.8
SMH 5	RIM 597.0
SMH 6	RIM 597.0
SMH 7	RIM 591.0
SMH 8	RIM 587.0
SMH 9	RIM 579.0

8" PVC L=125' S=0.010
 8" PVC L=250' S=0.010
 8" PVC L=47' S=0.060
 8" PVC L=47' S=0.046
 8" PVC L=200' S=0.010
 8" PVC L=236' S=0.010
 8" PVC L=31' S=0.060
 8" PVC L=37' S=0.060
 8" PVC L=65' S=0.020

LEGEND:

---	EXISTING PROPERTY LINE
- - - -	PROPOSED PROPERTY LINE
- - - -	EXISTING EASEMENT LINE
- - - -	EXISTING CONTOUR - HIGH
- - - -	EXISTING CONTOUR - LOW
- - - -	PROPOSED CONTOUR - HIGH
- - - -	PROPOSED CONTOUR - LOW
- - - -	EXISTING EDGE PAVEMENT
- - - -	EXISTING CURB
- - - -	PROPOSED EDGE OF PAVEMENT
- - - -	PROPOSED CURB
- - - -	EDGE VEGETATED WETLAND
- - - -	WETLAND BUFFER
- - - -	EXISTING DRAIN LINE
- - - -	PROPOSED DRAIN LINE
- - - -	EXISTING SEWER LINE
- - - -	PROPOSED SEWER LINE
- - - -	EXISTING WATER LINE
- - - -	PROPOSED WATER LINE
- - - -	EXISTING GAS LINE
- - - -	PROPOSED GAS LINE
- - - -	EXISTING OVERHEAD WIRES
- - - -	EXISTING UNDERGROUND ELECTRIC
- - - -	PROPOSED UNDERGROUND ELECTRIC
- - - -	EXISTING TREE LINE
- - - -	PROPOSED TREE LINE
- - - -	PROPOSED EROSION CONTROL
- - - -	ZONE LINE

John P. Grenier
 ENGINEER
 No. 47312
 REGISTERED PROFESSIONAL ENGINEER
 9/14/23



REV. NO.	DATE	REVISION
4	9/14/23	TOWN COMMENTS
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TITLE:
 SITE DEVELOPMENT PLAN
 AT
 CENTURY DRIVE
 WEST BOYLSTON, MASSACHUSETTS 01583

PREPARED FOR:
 BIRDLAND HILL, LLC
 14 PUTNAM LANE
 WORCESTER, MASSACHUSETTS 01604

SITE PLAN APPROVAL
 WEST BOYLSTON PLANNING BOARD
John P. Grenier
 ENGINEER
 No. 47312
 REGISTERED PROFESSIONAL ENGINEER
 DATE: 11-8-23

PREPARED BY:
 J.M. GRENIER ASSOCIATES INC.
 118 TURNPIKE ROAD SUITE 200
 SOUTHBOROUGH, MASSACHUSETTS 01772
 TELE NO.: (508) 845-2500 jmgrenier@townisp.com

SCALE: 1" = 40'
DATE: FEBRUARY 28, 2023

SHEET NO.: SHEET 9 OF 17
PROJECT NO.: G-664

REPLACE HEADWALL WITH OCS SEE DETAIL PLAN 1/2

Approx. Building #300



PLANT SCHEDULE

TYPE	KEY	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION	QTY
TREES		<i>Quercus palustris</i>	Pin Oak	2" cal.	B&B	32
TREES		<i>Pinus Strobus</i>	White Pine	5'-6'	B&B	20

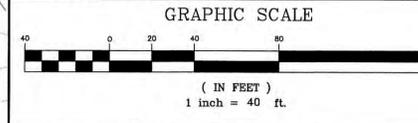
9/14/23

SITE PLAN APPROVAL
WEST BOYLSTON PLANNING BOARD
[Signature]
 DATE: 11-8-23

LEGEND:

	EXISTING PROPERTY LINE
	PROPOSED PROPERTY LINE
	EXISTING EASEMENT LINE
	EXISTING CONTOUR - HIGH
	EXISTING CONTOUR - LOW
	PROPOSED CONTOUR - HIGH
	PROPOSED CONTOUR - LOW
	EXISTING EDGE PAVEMENT
	EXISTING CURB
	PROPOSED EDGE OF PAVEMENT
	PROPOSED CURB
	EDGE VEGETATED WETLAND
	WETLAND BUFFER
	EXISTING DRAIN LINE
	PROPOSED DRAIN LINE
	EXISTING SEWER LINE
	PROPOSED SEWER LINE
	EXISTING WATER LINE
	PROPOSED WATER LINE
	EXISTING GAS LINE
	PROPOSED GAS LINE
	EXISTING OVERHEAD WIRES
	EXISTING UNDERGROUND ELECTRIC
	PROPOSED UNDERGROUND ELECTRIC
	EXISTING TREE LINE
	PROPOSED TREE LINE
	PROPOSED EROSION CONTROL
	ZONE LINE

- NOTES:**
- ALL TREE SPECIES SHALL BE ASIAN LONGHORNED BEETLE (ALB) RESISTANT.
 - SPACING AND NUMBER OF TREES TO BE PLANTING AT PERIMETER MAY VARY BASED ON FIELD CONDITIONS IN ORDER TO PROMOTE MAXIMUM SCREENING.
 - ALL DISTURBED AREAS ARE TO BE LOAMED AND SEEDED WITH A MINIMUM OF 6" TOP SOIL SPREAD EVENLY THROUGHOUT. PROVIDED EROSION CONTROL MEASURES AS NECESSARY TO PROVIDE SLOPE STABILITY UNTIL VEGETATION IS ESTABLISHED.
 - INTERIOR LANDSCAPING REQUIREMENTS:
 LOT 1
 30,485 SQ.FT. PARKING AREA*0.05 = 1,524 SQ.FT.
 INTERIOR LANDSCAPING PROVIDED = 2,207 SQ.FT.
 LOT 4
 22,057 SQ.FT. PARKING AREA*0.05 = 1,103 SQ.FT.
 INTERIOR LANDSCAPING PROVIDED = 1,222 SQ.FT.
 - SHADE TREE REQUIREMENTS:
 LOT 1
 1 TREE/10 PARKING SPACES X 62 = 7
 SHADE TREES PROVIDED = 7
 LOT 2
 1 TREE/10 PARKING SPACES X 13 = 2
 SHADE TREES PROVIDED = 3
 LOT 3
 1 TREE/10 PARKING SPACES X 16 = 2
 SHADE TREES PROVIDED = 3
 LOT 4
 1 TREE/10 PARKING SPACES X 47 = 5
 SHADE TREES PROVIDED = 5



REV. NO.	DATE	REVISION
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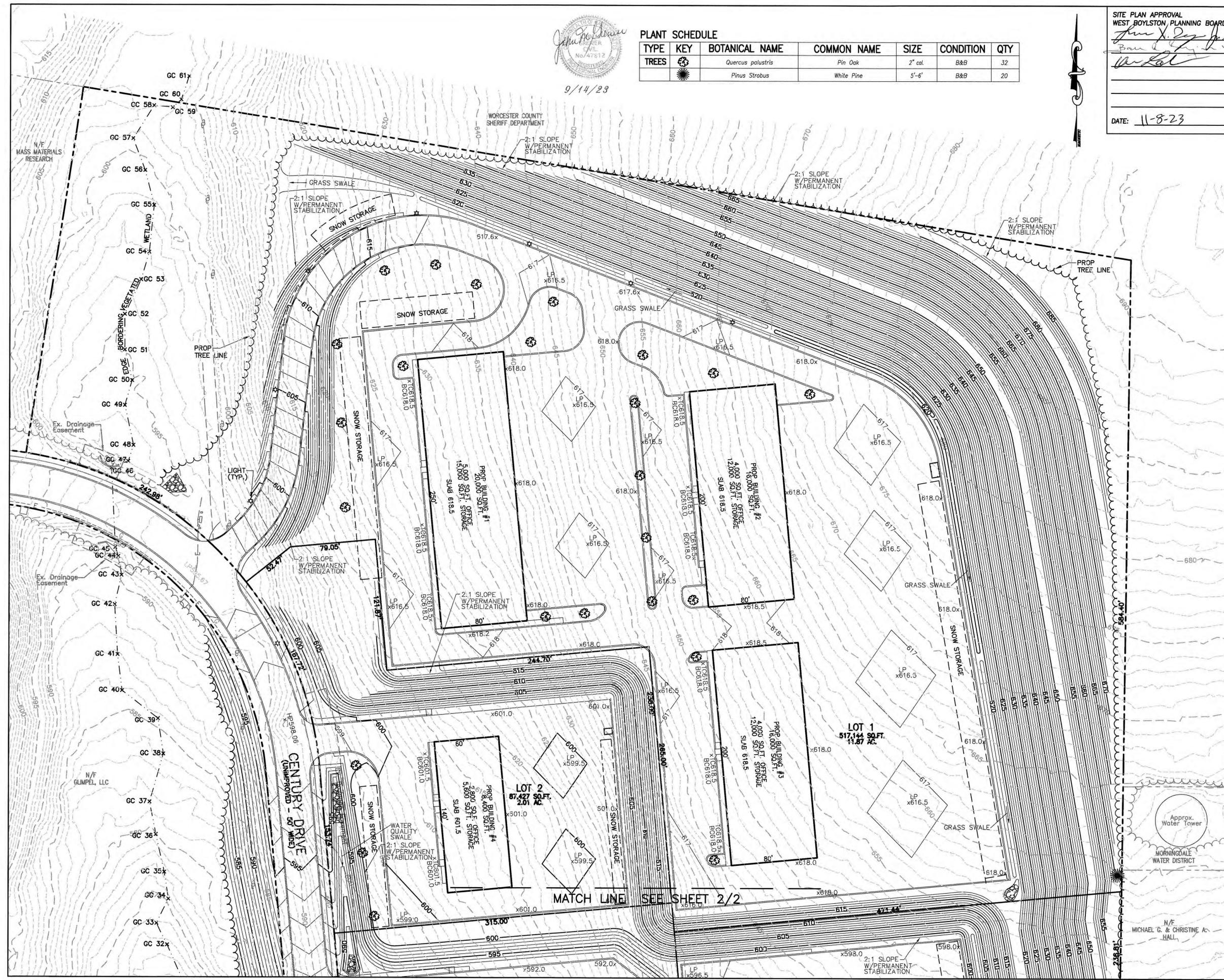
TITLE:
SITE DEVELOPMENT PLAN
AT
CENTURY DRIVE
WEST BOYLSTON, MASSACHUSETTS 01583

PREPARED FOR:
BIRDLAND HILL, LLC
14 PUTNAM LANE
WORCESTER, MASSACHUSETTS 01604

PREPARED BY:
J.M. GRENIER ASSOCIATES INC.
118 TURNPIKE ROAD SUITE 200
SOUTHBOROUGH, MASSACHUSETTS 01772

SCALE: 1" = 40'
DATE: FEBRUARY 28, 2023

SHEET NO.: SHEET 10 OF 17
PROJECT NO.: G-664





LEGEND:

---	EXISTING PROPERTY LINE
---	PROPOSED PROPERTY LINE
---	EXISTING EASEMENT LINE
-615-	EXISTING CONTOUR - HIGH
-612-	EXISTING CONTOUR - LOW
-615-	PROPOSED CONTOUR - HIGH
-612-	PROPOSED CONTOUR - LOW
---	EXISTING EDGE PAVEMENT
---	EXISTING CURB
---	PROPOSED EDGE OF PAVEMENT
---	PROPOSED CURB
---	EDGE VEGETATED WETLAND
---	WETLAND BUFFER
D---	EXISTING DRAIN LINE
D---	PROPOSED DRAIN LINE
S---	EXISTING SEWER LINE
S---	PROPOSED SEWER LINE
W---	EXISTING WATER LINE
W---	PROPOSED WATER LINE
G---	EXISTING GAS LINE
G---	PROPOSED GAS LINE
---	EXISTING OVERHEAD WIRES
---	EXISTING UNDERGROUND ELECTRIC
---	PROPOSED UNDERGROUND ELECTRIC
---	EXISTING TREE LINE
---	PROPOSED TREE LINE
---	PROPOSED EROSION CONTROL
---	ZONE LINE

N/F MICHAEL G. & CHRISTINE A. HALL

N/F BRUCE A. PALMER

N/F MARGARET M. ZAPATKA

N/F RICHARD F. WALSH

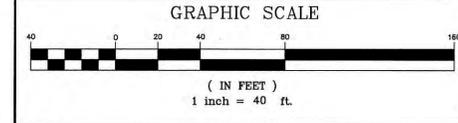
N/F JENNIFER SMITH

N/F AMERICAN RED CROSS

N/F ST. PIERRE ASSOCIATES II LIMITED PARTNERSHIP

N/F AERO BOYLSTON, LLC

DATE: 11-8-23



REV. NO.	DATE	REVISION
4	9/14/23	TOWN COMMENTS
3	8/16/23	TOWN COMMENTS / VHB COMMENTS
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1	6/14/23	TOWN COMMENTS / VHB COMMENTS

TITLE:

SITE DEVELOPMENT PLAN
AT
CENTURY DRIVE
WEST BOYLSTON, MASSACHUSETTS 01583

PREPARED FOR:

BIRDLAND HILL, LLC
14 PUTNAM LANE
WORCESTER, MASSACHUSETTS 01604

PREPARED BY:

J.M. GRENIER ASSOCIATES INC.
118 TURNPIKE ROAD SUITE 200
SOUTHBOROUGH, MASSACHUSETTS 01772
TELE NO.: (508) 845-2500 jmgrenier@townisp.com

SCALE: 1" = 40'

DATE: FEBRUARY 28, 2023

LANDSCAPE PLAN 2/2

SHEET NO.: SHEET 11 OF 17

PROJECT NO.: G-664

SITE PLAN APPROVAL
WEST BOYLSTON PLANNING BOARD

[Signature]

[Signature]

[Signature]

DATE: 11-8-23

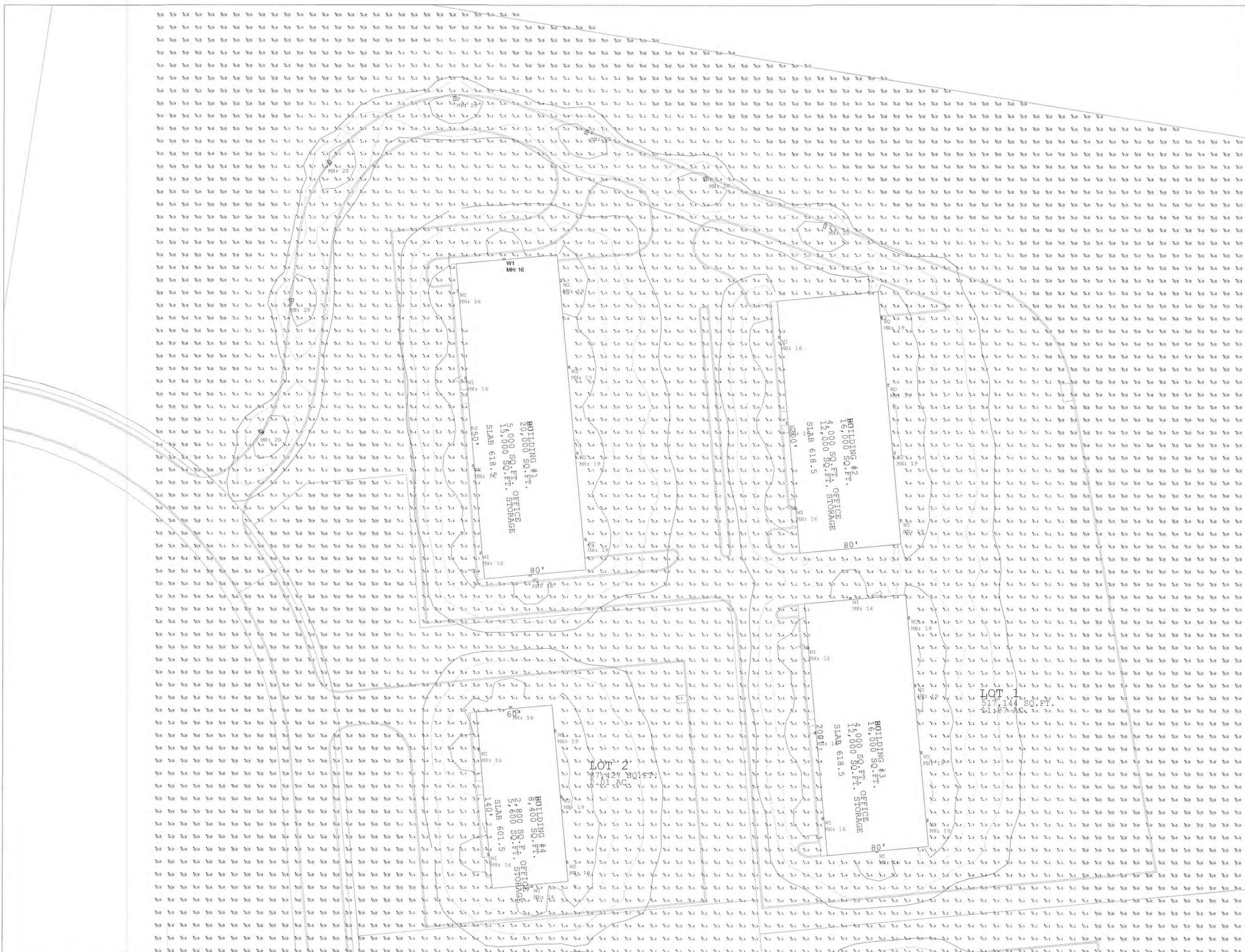


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 LIGHT LEVELS ARE SUBJECT TO CONDITIONS IN THE FIELD.
 specifications@reflexlighting.com

Drawn By: LS
 Date: 7/20/2023
 Specifier:
 Salesperson:
 Scale: Not to Scale

Century Drive
 West Boylston, MA

Lawrence J. P.
Barry R. Boynton
Ken Soler



Luminaire Schedule Symbol	Qty	Label	Tag	Description	LLF	Luminaire Lumens	Luminaire Watts	Mounting Height
☐	11	P	LUMARK	PRV-PA1B-740-U-T2R-SA-XX	0.900	9866	74	20
☐	33	W1	MCGR	GWC-SA2B-740-U-T4W-XX	0.900	11843	86	16
☐	31	W2	MCGR	GWC-SA2C-740-U-T4F-XX	0.900	14850	113	19

Calculation Summary Label Site	Units Fc	Avg 0.55	Max 6.3	Min 0.0	Avg/Min N.A.	Max/Min N.A.



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 Date: 7/20/2023
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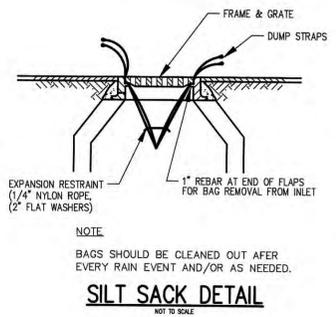
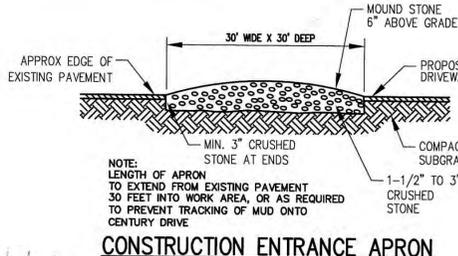
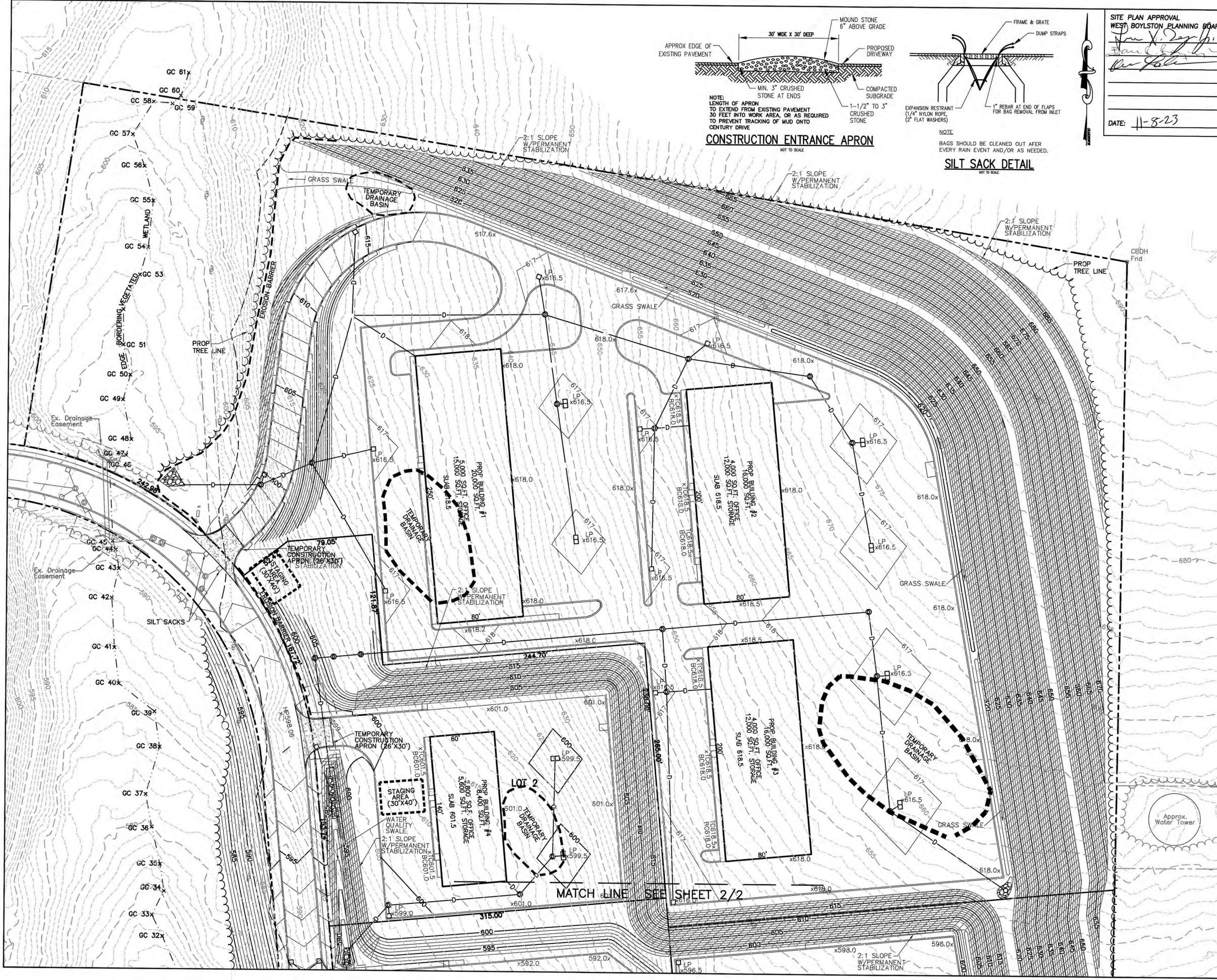
Century Drive
 West Boylston, MA

Paul X. Zyg...
Paul R. Gwyn...
Paul...



Luminaire Schedule Symbol	Qty	Label	Tag	Description	LLF	Luminaire Lumens	Luminaire Watts	Mounting Height
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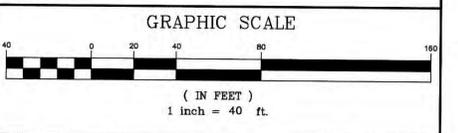
Calculation Summary Label	Units	Avg	Max	Min	Avg/Min	Max/Min
Site	Fc	0.55	6.3	0.0	N.A.	N.A.



SITE PLAN APPROVAL
WEST BOYLSTON PLANNING BOARD
[Signature]
 DATE: 11-8-23

LEGEND:

- EXISTING PROPERTY LINE
- - - PROPOSED PROPERTY LINE
- - - EXISTING EASEMENT LINE
- - - EXISTING CONTOUR - HIGH
- - - EXISTING CONTOUR - LOW
- - - 615 PROPOSED CONTOUR - HIGH
- - - 612 PROPOSED CONTOUR - LOW
- ==== EXISTING EDGE PAVEMENT
- ==== EXISTING CURB
- ==== PROPOSED EDGE OF PAVEMENT
- ==== PROPOSED CURB
- ==== EDGE VEGETATED WETLAND
- ==== WETLAND BUFFER
- D - - - EXISTING DRAIN LINE
- D - - - PROPOSED DRAIN LINE
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- S - - - PROPOSED SEWER LINE
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- - - PROPOSED WATER LINE
- - - EXISTING GAS LINE
- - - PROPOSED GAS LINE
- - - EXISTING OVERHEAD WIRES
- - - EXISTING UNDERGROUND ELECTRIC
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- ==== EXISTING TREE LINE
- ==== PROPOSED TREE LINE
- ==== PROPOSED EROSION CONTROL
- ==== ZONE LINE



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TITLE:
SITE DEVELOPMENT PLAN
AT
CENTURY DRIVE
WEST BOYLSTON, MASSACHUSETTS 01583

PREPARED FOR:
BIRDLAND HILL, LLC
14 PUTNAM LANE
WORCESTER, MASSACHUSETTS 01604

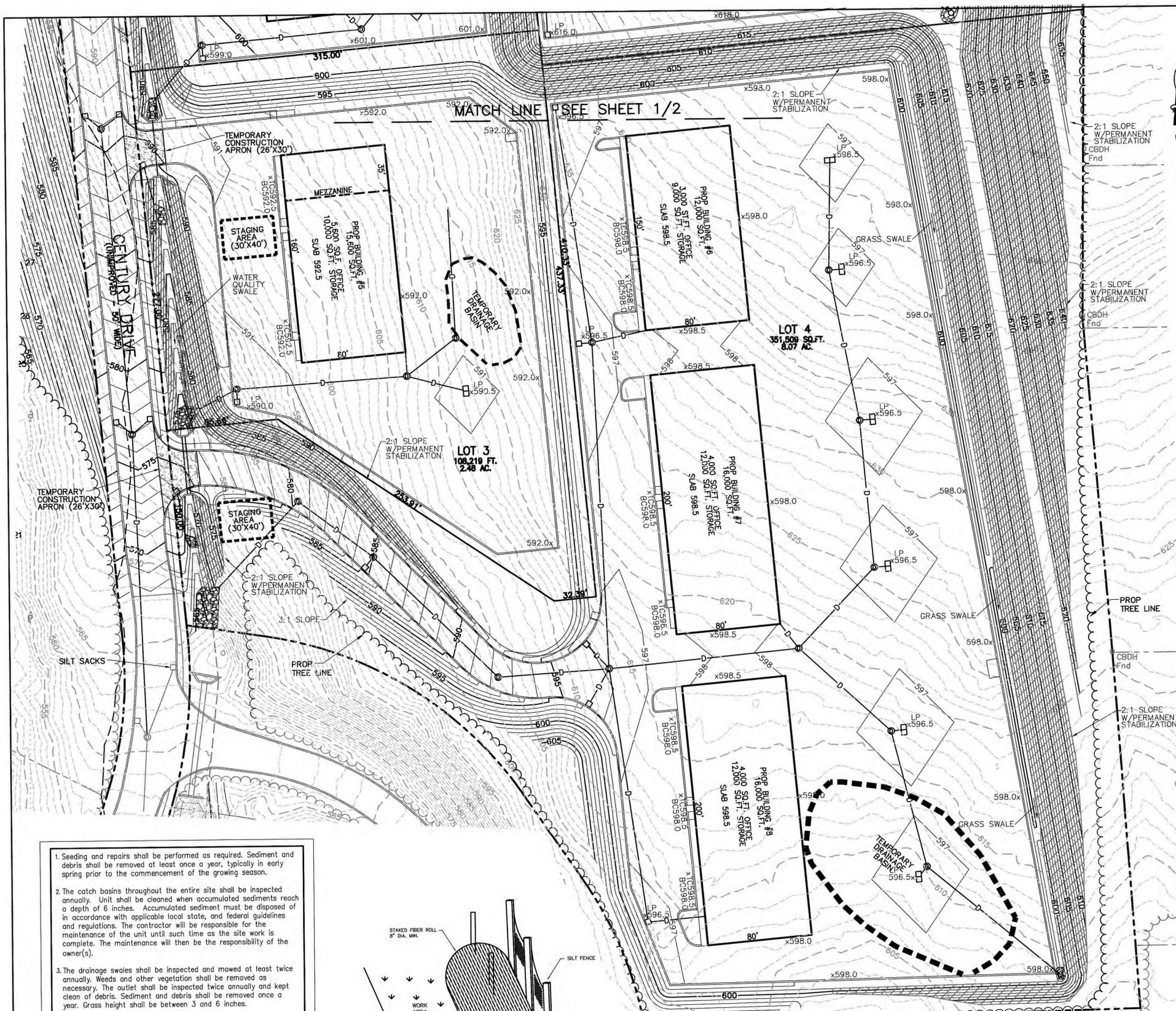
PREPARED BY:
J.M. GRENIER ASSOCIATES INC.
118 TURNPIKE ROAD SUITE 200
SOUTHBOROUGH, MASSACHUSETTS 01772
 TELE NO: (508) 845-2500 jmgrenier@townisp.com

SCALE: 1" = 40' **DATE:** FEBRUARY 28, 2023

EROSION & SEDIMENTATION CONTROL PLAN 1/2

SHEET NO.: SHEET 14 OF 17 **PROJECT NO.:** G-664

MATCH LINE SEE SHEET 2/2



GENERAL
 1. THIS PLAN IS ALSO INTENDED TO PROVIDE GUIDANCE AND INSTRUCTION TO THE TOWN OF WEST BOYLSTON AND THE CONTRACTOR(S) IN THE PREVENTION OF EROSION AND SEDIMENTATION OFF SITE. THIS PLAN IS INTENDED TO ALLOW ANY CONDITIONS OF APPROVAL TO BE MORE SPECIFIC IN ADDRESSING ITEMS OF CONCERN IF CONDITIONS BY THE TOWN OF WEST BOYLSTON ARE IN CONFLICT WITH REQUIREMENTS AS SPECIFIED ON THE PLANS. CONDITIONS AS SPECIFIED BY THE TOWN OF WEST BOYLSTON SHALL SUPERSEDE THE REQUIREMENTS SPECIFIED ON THESE PLANS.

PRE-CONSTRUCTION:
 1. AN EROSION CONTROL BARRIER (SEE BELOW) SHALL BE INSTALLED AS DEPICTED ON THE PLANS. BETWEEN THE AREAS TO BE DISTURBED AND RECEIVING DRIVEWAY DRAINAGE STRUCTURES. THIS BARRIER SHALL REMAIN IN PLACE UNTIL ALL TRIBUTARY SURFACES HAVE BEEN FULLY STABILIZED. THE EROSION CONTROL BARRIERS AS SHOWN ON THE PLANS ARE THE MINIMUM PROTECTIVE MEASURES REQUIRED TO PROTECT THE ON AND OFF SITE DRAINAGE SYSTEMS.
 2. THE CONTRACTOR SHALL ESTABLISH A STAGING AREA ON A PORTION OF THE SITE TO BE DISTURBED FOR THE OVERNIGHT STORAGE OF EQUIPMENT AND STOCKPILING OF MATERIALS.
 3. IN THE STAGING AREA, THE CONTRACTOR SHALL HAVE A STOCKPILE OF MATERIALS REQUIRED TO CONTROL EROSION ON-SITE TO BE USED TO SUPPLEMENT OR REPAIR EROSION CONTROL DEVICES. THESE MATERIALS SHALL INCLUDE, BUT ARE NOT LIMITED TO: STRAW WATTLES, SILT FENCE AND CRUSHED STONE.
 4. A TEMPORARY STONE CONSTRUCTION ENTRANCE IS REQUIRED TO PREVENT TRACKING OF SILT, MUD, ETC. ONTO EXISTING ROADS. THE STONE SHALL BE REPLACED REGULARLY AS WELL AS WHEN THE STONE IS SILT LADEN OR EQUIPMENT IS OBSERVED TO BE TRACKING SOIL ONTO THE ROADWAYS. SEE GENERAL CONSTRUCTION REQUIREMENTS, NOTE #4.
 5. THE CONTRACTOR IS RESPONSIBLE FOR EROSION CONTROL ON & OFF SITE AND SHALL UTILIZE EROSION CONTROL MEASURES WHERE NEEDED, REGARDLESS OF WHETHER THE MEASURES ARE SPECIFIED HEREIN, ON THE PLAN OR IN ANY ORDER OF CONDITIONS.

PRELIMINARY SITE WORK:
 1. FILTERED CATCH BASIN INLET AND SILT FENCES SHALL BE PLACED AT THE INLETS/OUTLETS OF ADJACENT DRAINAGE SYSTEMS TO PROVIDE FILTRATION OF RUNOFF.
 2. MATERIAL REMOVED SHOULD BE STOCKPILED, SEPARATING THE TOPSOIL FOR FUTURE USE ON THE SITE OR IN A SECURED OFF SITE AREA APPROVED BY THE OWNER. EROSION CONTROLS SHALL BE UTILIZED ALONG THE DOWN SLOPE OF THE PILES IF THE PILES ARE TO REMAIN FOR MORE THAN THREE WEEKS.
 3. IF INTENSE RAINFALL IS ANTICIPATED, THE INSTALLATION OF SUPPLEMENTAL HAY BALE DIKES, SILT FENCES, OR ARMORED DIKES SHALL BE UTILIZED.
 4. IF THE SITE CONSTRUCTION OCCURS AT ANY TIME OTHER THAN THE APRIL - DECEMBER CONSTRUCTION SEASON, ALL DRAINAGE SYSTEMS TEMPORARY OR PERMANENT SHALL MAINTAIN TO ENSURE ADEQUATE HYDRAULIC CAPACITY, AND DRAINING CHARACTERISTICS.

EROSION CONTROL MEASURES:
 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT EROSION AND SEDIMENTATION ARE CONTROLLED. THIS PLAN SHALL BE ADAPTED TO FIT THE CONTRACTOR'S EQUIPMENT, WEATHER CONDITIONS, AND ANY ORDERS OF CONDITIONS ISSUED BY THE CONSERVATION COMMISSION AND ANY SPECIAL CONDITIONS ISSUED BY ANY OTHER REGULATORY AGENCY OF THE TOWN OF WEST BOYLSTON.
 2. THE MOST IMPORTANT ASPECTS OF CONTROLLING EROSION AND SEDIMENTATION ARE LIMITING THE EXTENT OF DISTURBANCE AND STABILIZING SURFACES AS SOON AS POSSIBLE. OF SECONDARY IMPORTANCE IN EROSION CONTROL IS THE LIMITING THE SIZE AND LENGTH OF THE TRIBUTARY DRAINAGE AREA WITHIN THE WORK SITE AND DRAINAGE STRUCTURES. THESE FUNDAMENTAL PRINCIPLES SHALL BE THE KEY FACTOR IN THE CONTRACTOR'S CONTROL OF EROSION ON THE SITE.
 3. THE EXISTING SOIL CONDITIONS PROVIDE THE POTENTIAL OF RUNOFF TO OFF-SITE AREAS WITH EROSION POTENTIAL. ALL RUNOFF WILL BE DIVERTED TO TEMPORARY BASINS WHICH WILL ACT AS A SEDIMENTATION BASIN DURING CONSTRUCTION.
 4. ALL DISTURBED SURFACES SHALL BE STABILIZED WITH MULCH TO PROVIDE DUST CONTROL. A MINIMUM OF 14 DAYS AFTER CONSTRUCTION IN ANY PORTION OF THE SITE HAS CEASED OR IS TEMPORARILY HALTED UNLESS ADDITIONAL CONSTRUCTION IS INTENDED TO BE INITIATED WITHIN 21 DAYS.
 5. THE CONTRACTOR IS RESPONSIBLE FOR THE MAINTENANCE AND REPAIR OF ALL EROSION CONTROL DEVICES WITHIN THE LIMIT OF WORK. ALL EROSION CONTROL DEVICES SHALL BE REGULARLY INSPECTED. ANY SEDIMENTS REMOVED FROM THE CONTROL DEVICES SHALL BE DISPOSED OF OUTSIDE OF THE 100' WETLANDS BUFFER ZONE.
 6. AT NO TIME SHALL SILT-LADEN WATER BE ALLOWED TO ENTER SENSITIVE AREAS (WETLANDS, OFF-SITE AREAS AND DRAINAGE SYSTEMS). ANY RUNOFF FROM DISTURBED SURFACES SHALL BE DIRECTED THROUGH SETTLING BASINS AND EROSION CONTROL BARRIERS PRIOR TO ENTERING ANY SENSITIVE AREAS.

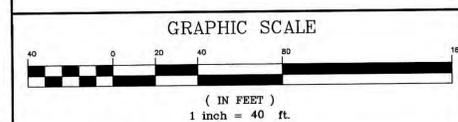
GENERAL CONSTRUCTION REQUIREMENTS:
 1. ANY REFUELING OF CONSTRUCTION VEHICLES AND EQUIPMENT SHALL NOT TAKE PLACE INSIDE OF A 100 FOOT BUFFER ZONE, NEAR THE ENTRANCE TO ANY DRAINAGE SYSTEM AND SHALL NOT BE CONDUCTED IN PROXIMITY TO SEDIMENTATION BASINS.
 2. NO ON-SITE DISPOSAL OF STUMPS, SOLID WASTE, INCLUDING CONSTRUCTION MATERIALS IS ALLOWED.
 3. NO MATERIALS SHALL BE DISPOSED OF INTO THE WETLANDS, OR EXISTING/PROPOSED DRAINAGE SYSTEMS. ALL CONTRACTORS INCLUDING: CONCRETE SUPPLIERS, PAINTERS AND PLASTERERS, SHALL BE INFORMED THAT THE CLEANING OF EQUIPMENT IS PROHIBITED IN AREAS WHERE THE WASH-WATER WILL DRAIN DIRECTLY TO THE SITE.
 4. CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL WHICH SHALL INCLUDE STREET SWEEPING AND/OR WATERING OF ALL PAVED SURFACES WITHIN THE SITE AND OFF-SITE AREAS THAT ARE IMPACTED BY SITE CONSTRUCTION ON A REGULAR BASIS, A MINIMUM OF ONCE PER WEEK AND/OR AS NEEDED.
 5. THE CONTRACTOR SHALL UNDERTAKE ALL WORK TO LIMIT AIRBORNE SEDIMENTS, ONLY CLEAN, POTABLE WATER MAY BE USED TO CONTROL DUST.

LANDSCAPING:
 1. LANDSCAPING SHALL OCCUR AS SOON AS POSSIBLE TO PROVIDE PERMANENT STABILIZATION OF DISTURBED SURFACES.
 2. CONTRACTOR SHALL UTILIZE A VARIETY OF SLOPE STABILIZATION METHODS AND MATERIALS INCLUDING WOOD CHIPS WHICH SHALL BE ADJUSTED TO THE SITE CONDITIONS. EROSION CONTROL BLANKETS OR MIRAFI MIRAFIAT (OR SIMILAR PRODUCTS) SHALL BE AVAILABLE ON SITE.
 3. IF THE SEASON OR ADVERSE WEATHER CONDITIONS DO NOT ALLOW THE ESTABLISHMENT OF VEGETATION, TEMPORARY MULCHING WITH HAY, TACKIFIED WOOD CHIPS OR OTHER METHODS SHALL BE PROVIDED.
 4. ALL DISTURBED SURFACES TO BE PLANTED SHALL RECEIVE A MINIMUM OF 4" TOPSOIL SHALL BE PLACED AND ITS SURFACE SMOOTHED TO THE SPECIFIED GRADES.
 5. SEED APPLICATIONS SHALL BE IN ACCORDANCE WITH THE GRASS AND SLOPE COVER SPECIFICATIONS.
 6. TO ENSURE A DENSE, SUCCESSION GROWTH, SEED IS REQUIRED ON ALL DISTURBED SURFACES.

LEGEND:

---	EXISTING PROPERTY LINE
---	PROPOSED PROPERTY LINE
---	EXISTING EASEMENT LINE
-615-	EXISTING CONTOUR - HIGH
-612-	EXISTING CONTOUR - LOW
-615-	PROPOSED CONTOUR - HIGH
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E	EXISTING UNDERGROUND ELECTRIC
E	PROPOSED UNDERGROUND ELECTRIC
---	EXISTING TREE LINE
---	PROPOSED TREE LINE
---	PROPOSED EROSION CONTROL
---	ZONE LINE

John P. Grenier
 REGISTERED PROFESSIONAL ENGINEER
 No. 47312
 9/14/23



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TITLE:
SITE DEVELOPMENT PLAN
 AT
CENTURY DRIVE
 WEST BOYLSTON, MASSACHUSETTS 01583

PREPARED FOR:
 BIRDLAND HILL, LLC
 14 PUTNAM LANE
 WORCESTER, MASSACHUSETTS 01604

PREPARED BY:
 J.M. GRENIER ASSOCIATES INC.
 118 TURNPIKE ROAD SUITE 200
 SOUTHBOROUGH, MASSACHUSETTS 01772
 TELE NO.: (508) 845-2500 jmgrenier@townisp.com

SCALE: 1" = 40'
DATE: FEBRUARY 28, 2023

EROSION & SEDIMENTATION CONTROL PLAN 2/2

SHEET NO.: SHEET 15 OF 17
PROJECT NO.: G-664

1. Seeding and repairs shall be performed as required. Sediment and debris shall be removed at least once a year, typically in early spring prior to the commencement of the growing season.

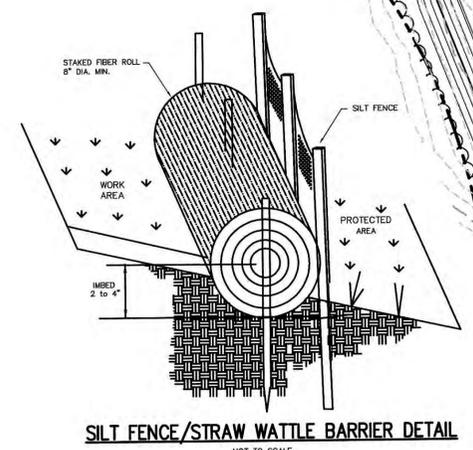
2. The catch basins throughout the entire site shall be inspected annually. Unit shall be cleaned when accumulated sediments reach a depth of 6 inches. Accumulated sediment must be disposed of in accordance with applicable local state, and federal guidelines and regulations. The contractor will be responsible for the maintenance of the unit until such time as the site work is complete. The maintenance will then be the responsibility of the owner(s).

3. The drainage swales shall be inspected and mowed at least twice annually. Weeds and other vegetation shall be removed as necessary. The outlet shall be inspected twice annually and kept clean of debris. Sediment and debris shall be removed once a year. Grass height shall be between 3 and 6 inches.

4. The infiltration basin shall be inspected a minimum of twice annually and after major storm events. Embankments shall be mowed periodically at least twice annually. Any woody vegetation shall be removed from embankments. The outlet shall be inspected twice annually and kept clean of debris. Any accumulated sediment shall be removed from the basin affected areas or to be loamed and seeded as necessary in order to maintain vegetation in a healthy condition.

5. The contractor will be responsible for the maintenance of all drainage structures and until such time as the site work is complete. The maintenance will then be the responsibility of the property owners.

STORMWATER COLLECTION & TREATMENT SYSTEM INSPECTION & MAINTENANCE GUIDELINES

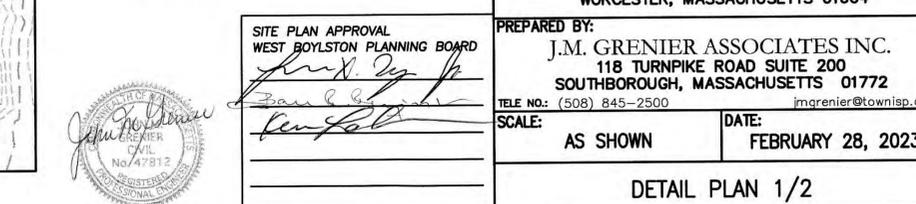
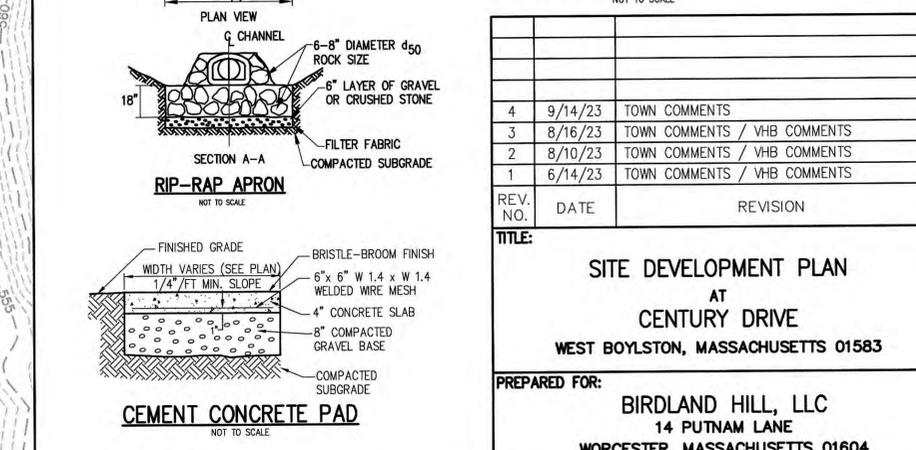
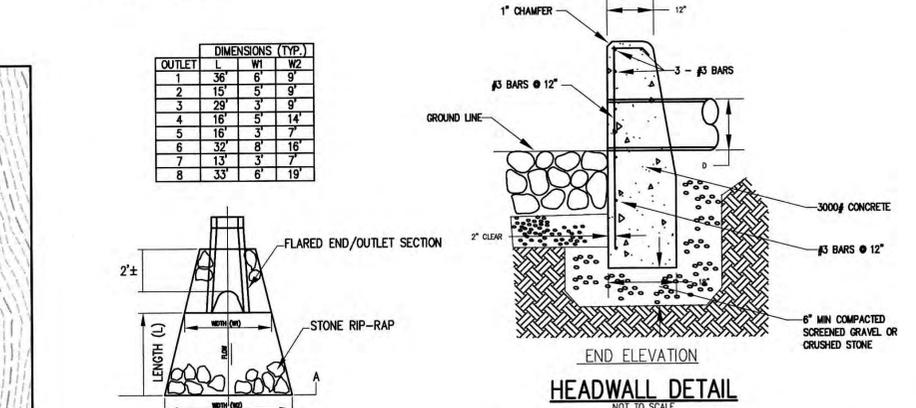
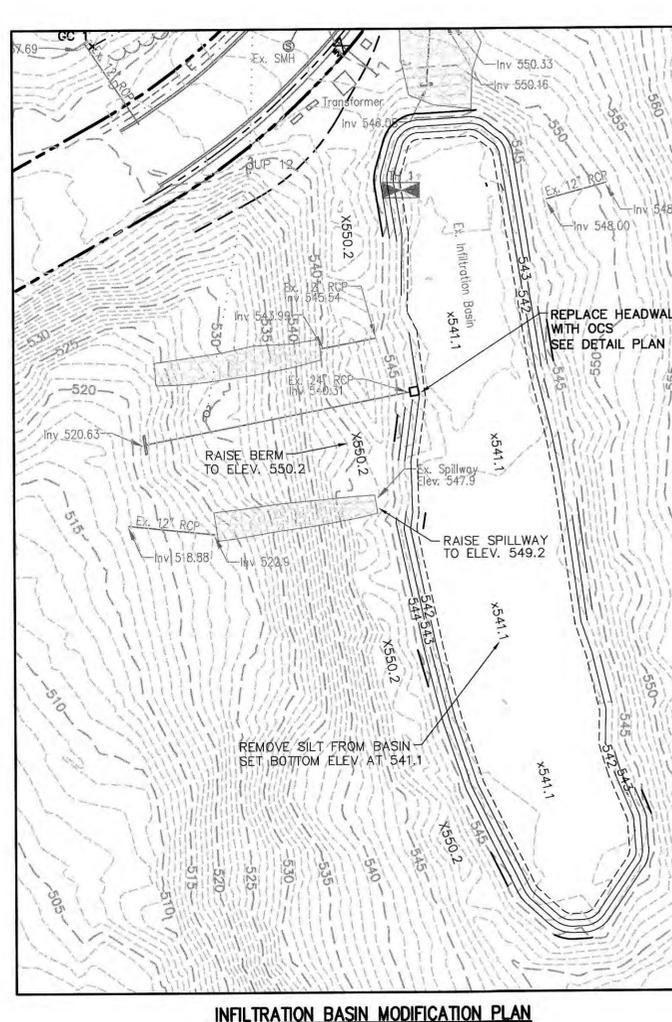
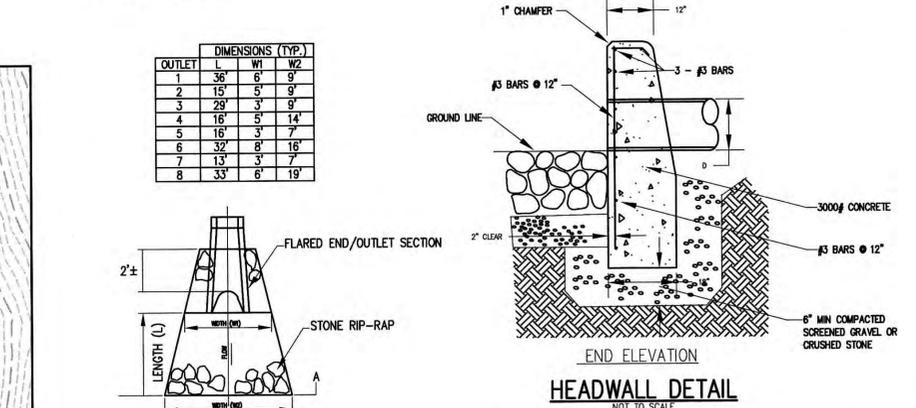
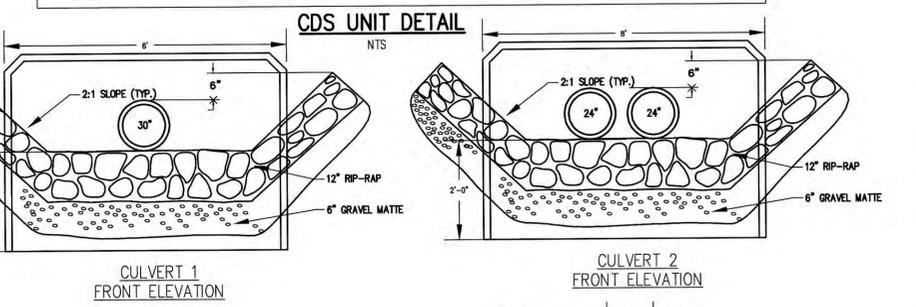
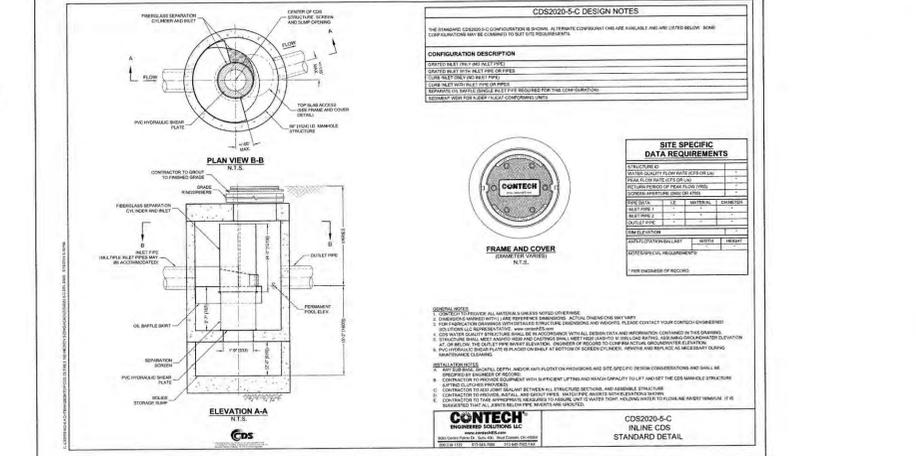
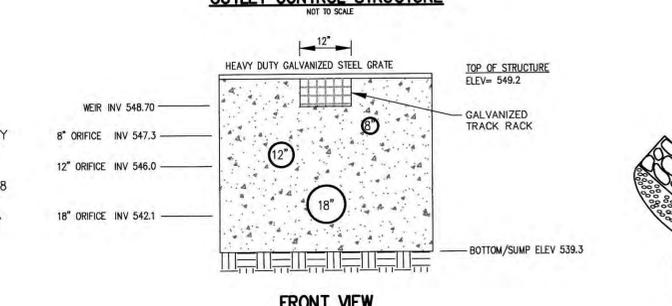
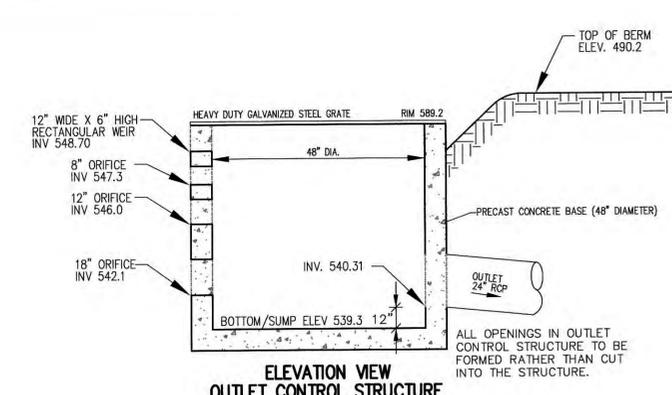
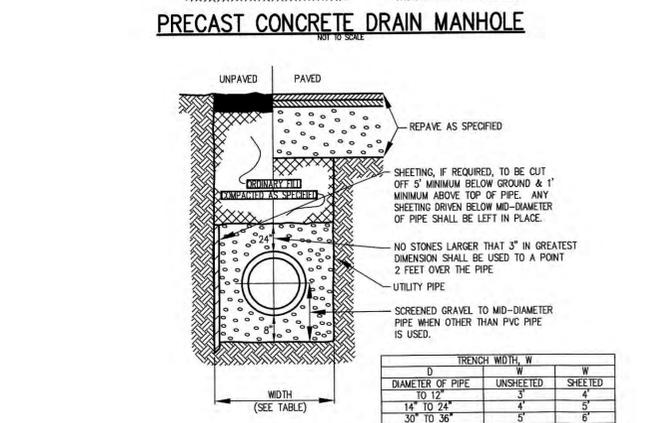
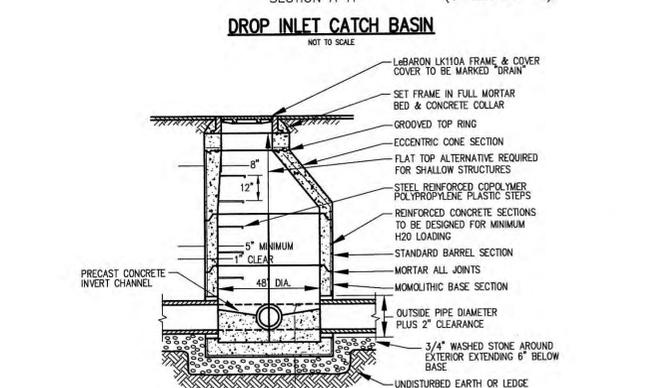
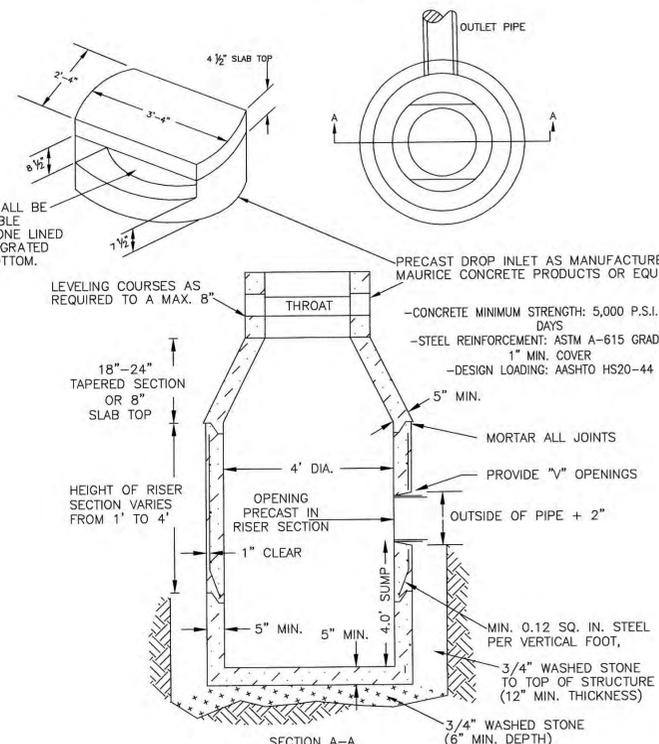
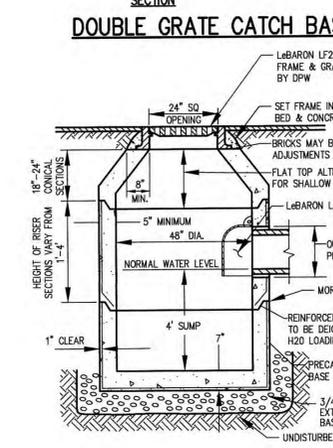
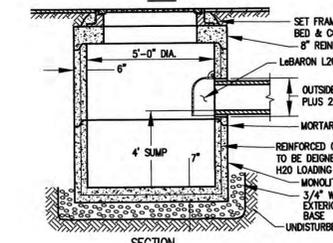
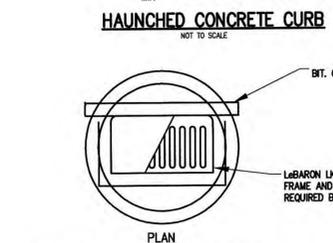
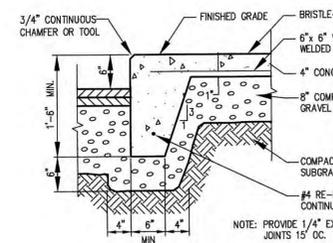
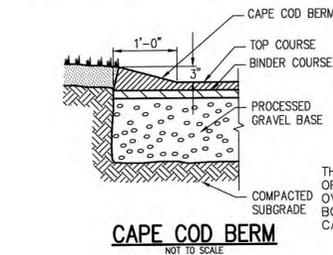
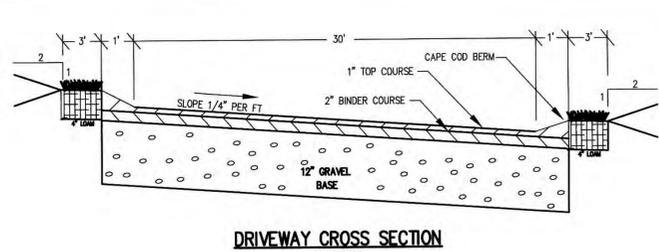
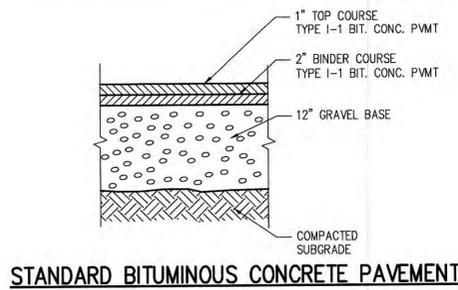


CONSTRUCTION SEQUENCING

- SELECTIVELY CUT TREES AND CLEAR BRUSH TO BE CHIPPED AND HAULLED OFF SITE. NOTE THAT THE SITE IS IN THE ASIAN LONGHORNED BEETLE (ALB) REGULATED AREA.
- STAKE LOCATION OF AND INSTALL EROSION CONTROL BARRIER AS DELINEATED ON SITE PLAN.
- STRIP TOP AND SUBSOIL AS NECESSARY IN WORK AREA. STOCKPILE MATERIAL ON WESTERN PORTION OF LOTS FOR BACKFILLING PURPOSES AT COMPLETION OF CONSTRUCTION.
- PERFORM SITE GRADING AND CUTS AND FILLS. TEMPORARY BASIN(S) SHALL BE CONSTRUCTED DURING THIS PROCESS TO ENSURE STORMWATER IS CONTROLLED DURING CONSTRUCTION.
- CONSTRUCT BUILDINGS AND INSTALL UTILITIES. SUBSURFACE DRAINAGE SYSTEM SHALL NOT BE CONNECTED TO PARKING LOT DRAINAGE SYSTEM UNTIL ALL TRIBUTARY DRAINAGE AREAS ARE STABILIZED AND THERE IS NO POTENTIAL FOR SILT LADEN WATER TO ENTER THE SUBSURFACE RECHARGE CHAMBERS.
- INSTALL FINISH PAVEMENT, CURBING AND LANDSCAPING.

NOTE:
 ALL EXCESS MATERIALS ARE TO BE REMOVED FROM THE SITE AS SOON AS PRACTICAL. ALL GRADED AREAS ARE TO BE LANDSCAPED, LOAMED AND SEED AS SOON AS PRACTICAL TO REDUCE CHANCES OF EROSION OF SOILS.

SITE PLAN APPROVAL
 WEST BOYLSTON PLANNING BOARD
John P. Grenier
 REGISTERED PROFESSIONAL ENGINEER
 No. 47312
 DATE: 11-8-23



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3	8/16/23	TOWN COMMENTS / VHB COMMENTS
2	8/10/23	TOWN COMMENTS / VHB COMMENTS
1	6/14/23	TOWN COMMENTS / VHB COMMENTS

TITLE:
SITE DEVELOPMENT PLAN
AT
CENTURY DRIVE
WEST BOYLSTON, MASSACHUSETTS 01583

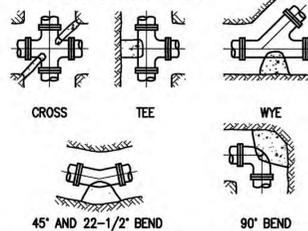
PREPARED FOR:
BIRDLAND HILL, LLC
14 PUTNAM LANE
WORCESTER, MASSACHUSETTS 01604

PREPARED BY:
J.M. GRENIER ASSOCIATES INC.
118 TURNPIKE ROAD SUITE 200
SOUTHBOROUGH, MASSACHUSETTS 01772
TELE NO.: (508) 845-2500
SCALE: AS SHOWN
DATE: FEBRUARY 28, 2023

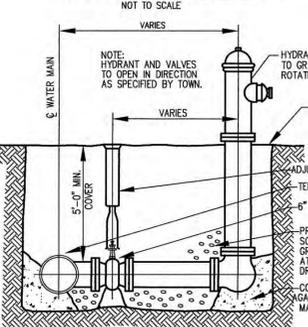
SHEET NO.: SHEET 16 OF 17
PROJECT NO.: G-664

SIZE OF MAIN	90 DEGREE BEND	TEE & PLUG	45 DEGREE BEND
6"	10	8	6
8"	16	12	10
10"	26	19	15
12"	36	26	20

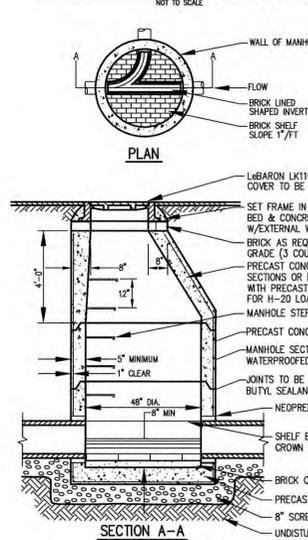
NOTE: FOR FITTINGS W/ LESS THAN 45° DEFLECTION USE BEARING AREA FOR 45° BEND.
NOTE: ALL CONCRETE SHALL BE 2500 P.S.I.



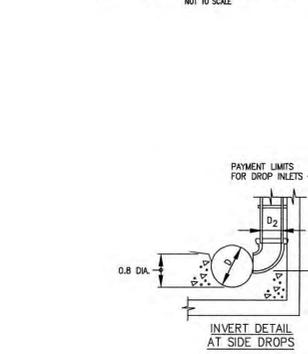
THRUST BLOCK SCHEDULE



HYDRANT AND VALVE DETAIL WITH RESTRAINED JOINT HYDRANT TEE

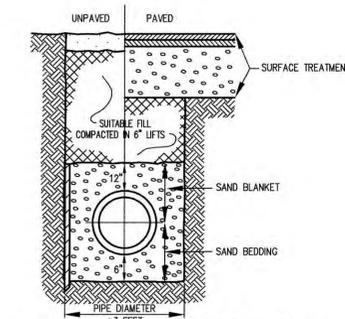


PRECAST SEWER MANHOLE



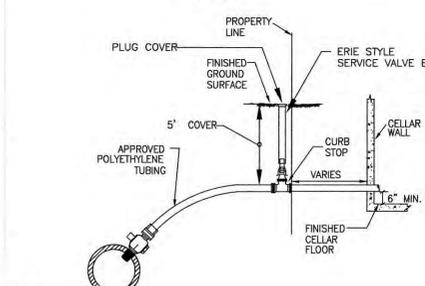
INSIDE DROP MANHOLE DETAIL

NOT TO SCALE



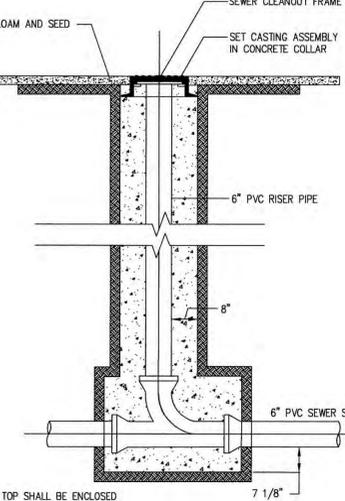
TYPICAL WATER LINE TRENCH SECTION

NOT TO SCALE



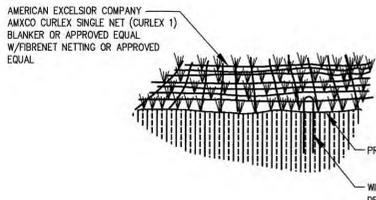
WATER SERVICE CONNECTION

NOT TO SCALE



TYPICAL SEWER CLEANOUT

NOT TO SCALE

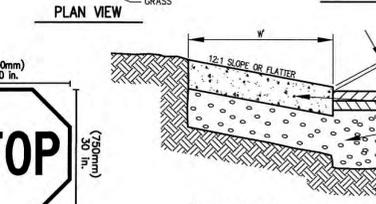
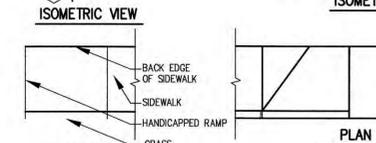
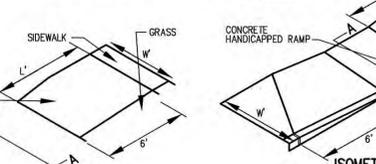


PERMANENT SLOPE STABILIZATION

NOT TO SCALE

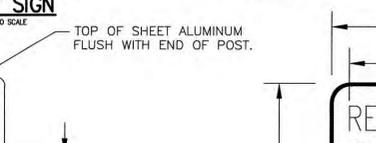
- NOTES:
- BEFORE INSTALLATION, THE SEEDBED SHALL BE SHOWN TO THE OWNER AND INSPECTED TO ENSURE IT HAS BEEN PROPERLY COMPACTED AND FINELY GRADED TO REMOVE ANY EXISTING HILLS. IT SHALL BE FREE OF OBSTRUCTIONS, SUCH AS TREE ROOTS, PROJECTIONS SUCH AS STONES, AND OTHER FOREIGN OBJECTS.
 - GRASS SEED SHALL MATCH SOIL CONDITIONS TO ALLOW FOR MAXIMUM GERMINATION, DENSE VEGETATION, AND A STRUCTURAL ROOT SYSTEM.
 - CONTRACTOR SHALL PROCEED WHEN SATISFACTORY CONDITIONS ARE PRESENT.
 - AFTER THE AREA HAS BEEN PROPERLY SHAPED, SEEDED, FERTILIZED, AND COMPACTED, LOCATE THE START OF THE ROLL, MAKING SURE THE ROLL IS FACING TOWARD THE AREA TO BE COVERED, AND THEN ROLL OUT THE BLANKET. BLANKETS SHALL BE ROLLED OUT FLAT, EVEN, AND SMOOTH WITHOUT STRETCHING THE MATERIAL THEN ANCHORED TO THE SUBGRADE.
 - IT IS RECOMMENDED THAT THE BLANKETS BE INSTALLED IN THE SAME DIRECTION AS THE WATER FLOW, HOWEVER ON SHORT SLOPES IT MAY BE MORE PRACTICAL TO INSTALL HORIZONTALLY ACROSS THE WIDTH OF THE APPLICATION.
 - IF MORE THAN ONE WIDTH IS REQUIRED, ABUT THE EDGES TOGETHER AND SECURE THE BLANKETS WITH A COMMON ROW OF BIODEGRADABLE STAPLES, STEEL STAPLES, OR STAKES.
 - OVERLAPPING OF CURLEX EXCELSIOR BLANKETS IS NOT REQUIRED OR RECOMMENDED. AN EXCEPTION IS WATERWAY SLOPES.

W	L	W	L
4'-0"	3'-6"	6'-0"	3'-6"
4'-0"	3'-0"	6'-0"	3'-0"
6'-0"	2'-0"	7'-0"	1'-6"
8'-0"	0'-0"	8'-0"	0'-0"



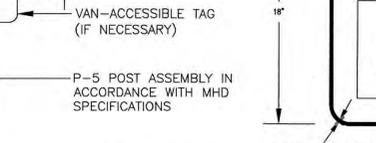
STOP SIGN

NOT TO SCALE



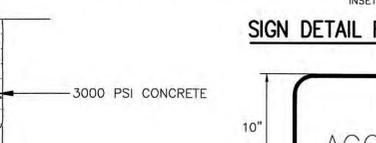
SIGN POST DETAIL

NTS



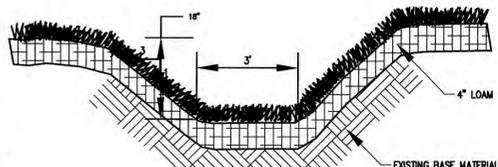
SIGN DETAIL FOR HP PARKING

NTS



VAN-ACCESSIBLE SIGN

NTS



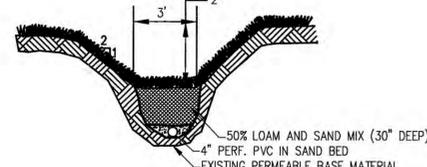
GRASS SWALE

NOT TO SCALE

OPERATION AND MAINTENANCE PLAN

CONSTRUCTION OPERATION AND MAINTENANCE PLAN

- ALL EROSION AND SEDIMENT CONTROL DEVICES INSTALLED PRIOR TO CONSTRUCTION SHALL BE INSPECTED ON A DAILY BASIS. ANY DEFICIENCIES IN THE SILTATION FENCE SHALL BE CORRECTED IMMEDIATELY. ANY ACCUMULATED SILT SHALL BE REMOVED MANUALLY FROM THE SILT FENCE. SILT BARRIERS SHOULD BE INSPECTED DAILY TO ENSURE THAT THERE IS NO ACCUMULATION OF SEDIMENTS.
- THE MOST IMPORTANT ASPECTS OF CONTROLLING EROSION AND SEDIMENTATION ARE LIMITING THE EXTENT OF DISTURBANCE AND STABILIZING SURFACES AS SOON AS POSSIBLE. OF SECONDARY IMPORTANCE IN EROSION CONTROL IS LIMITING THE SIZE AND LENGTH OF THE TRIBUTARY DRAINAGE AREA WITHIN THE WORK SITE AND DRAINAGE STRUCTURES. THESE FUNDAMENTAL PRINCIPLES SHALL BE THE KEY FACTOR IN THE CONTROL OR EROSION ON THE SITE.
- ALL DISTURBED SURFACES SHALL BE STABILIZED A MINIMUM OF 14 DAYS AFTER CONSTRUCTION IN ANY PORTION OF THE SITE HAS CEASED TO TEMPORARILY HALTED UNLESS ADDITIONAL CONSTRUCTION IS INTENDED TO BE INITIATED WITHIN 21 DAYS.
- HYDROSEEDING, WOOD CHIPPING AND HAY MULCHING SHALL BE PERFORMED IMMEDIATELY AFTER CONSTRUCTION TO MINIMIZE EROSION DAMAGE. NEWLY SEEDED SLOPES SHALL BE INSPECTED EVERY TWO WEEKS FOR THE FIRST FEW MONTHS TO ENSURE THAT REVEGETATION HAS OCCURRED. REPAIRS AND RESEEDING SHALL BE PERFORMED IMMEDIATELY AS THE NEED ARISES.
- THE CATCH BASIN GRATES ARE TO BE COVERED WITH PLYWOOD PRIOR TO THE INSTALLATION OF PAVEMENT. THIS WILL PREVENT EXCESS SILT FROM ACCUMULATING IN SUMPS AND PIPES. AFTER PAVEMENT HAS BEEN INSTALLED, A BLOCK AND GRATE GRAVEL INLET PROTECTION DEVICE SHALL BE CONSTRUCTED SURROUNDING THE CATCH BASIN RIMS. THIS WILL KEEP SILT OUT OF THE BASINS UNTIL THE REMAINDER OF THE SITE HAS BEEN STABILIZED. THE STONE FROM THE INLET PROTECTION SHALL BE MAINTAINED FREQUENTLY TO ENSURE THE HIGHEST DEGREE OF FILTRATION.
- AT NO TIME SHALL SILT LADEN WATER BE ALLOWED TO ENTER SENSITIVE AREAS (WETLANDS, AND OFF-SITE AREAS). ANY RUNOFF FROM DISTURBED SURFACES SHALL BE DIRECTED THROUGH SETTLING BASINS AND EROSION CONTROL BARRIERS PRIOR TO ENTERING ANY SENSITIVE AREAS.
- AT THE COMPLETION OF CONSTRUCTION ALL AREAS ARE TO BE LOAMED AND SEEDED OR COVERED WITH WOOD CHIPS TO ENSURE THAT THE SITE IS STABILIZED.

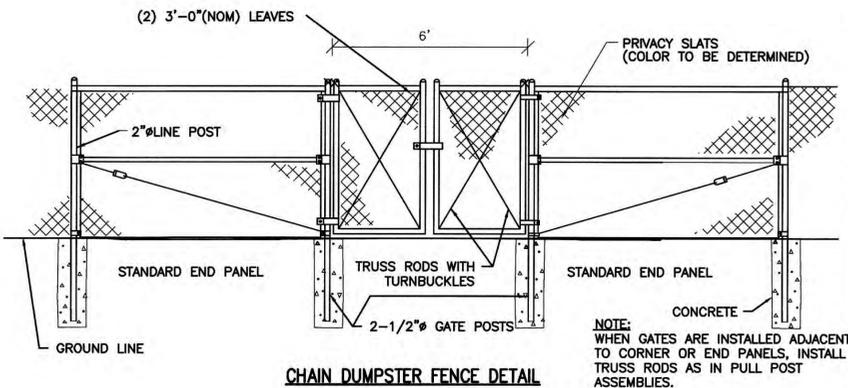


WATER QUALITY DRY SWALE

NOT TO SCALE

POST-DEVELOPMENT OPERATION AND MAINTENANCE PLAN

- SEEDING AND REPAIRS SHALL BE PERFORMED AS REQUIRED. SEDIMENT AND DEBRIS SHALL BE REMOVED AT LEAST ONCE A YEAR, TYPICALLY IN EARLY SPRING PRIOR TO THE COMMENCEMENT OF THE GROWING SEASON.
- THE CATCH BASINS SHALL BE INSPECTED ANNUALLY. UNITS SHALL BE CLEANED WHEN ACCUMULATED SEDIMENT REACHES A DEPTH OF 6 INCHES. ACCUMULATED SEDIMENT MUST BE DISPOSED OF IN ACCORDANCE WITH APPLICABLE LOCAL, STATE AND FEDERAL GUIDELINES AND REGULATIONS. THE CONTRACTOR WILL BE RESPONSIBLE FOR THE MAINTENANCE OF THE UNITS UNTIL SUCH TIME AS THE SITE WORK IS COMPLETE. THE MAINTENANCE WILL THEN BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
- THE CDS TREATMENT UNIT SHALL BE INSPECTED AND CLEANED WITH A VACUUM TRUCK WHEN THE TOTAL SEDIMENT DEPTH IN THE UNIT REACHES 75% OF ISOLATED SUMP DEPTH OR WHEN AN APPRECIABLE LEVEL OF HYDROCARBONS AND TRASH HAS ACCUMULATED. BI-ANNUAL SERVICING IS RECOMMENDED HOWEVER FREQUENCY OF MAINTENANCE MAY BE MORE OR LESS BASED ON LOCAL CONDITIONS. THE FOLLOWING PROCEDURES SHOULD BE TAKEN CLEANING OUT CDS UNITS:
 - PERFORM VISUAL INSPECTION TO ENSURE SYSTEM COMPONENTS ARE IN WORKING ORDER AND THERE ARE NO BLOCKAGE AND OBSTRUCTIONS IN THE INLET AND SEPARATION PROCESS.
 - MEASURE POLLUTANT ACCUMULATION WITH CALIBRATED DIPSTICK.
 - REMOVE MANHOLE COVERS AND INSERT VACUUM HOSE INTO SUMP.
 - SYSTEM SHOULD BE COMPLETELY DRAINED DOWN AND SUMP FULLY EVACUATED OF SEDIMENT.
- AREA OUTSIDE THE SCREEN SHOULD BE CLEANED OUT OF POLLUTANT BULDP EXISTS IN THIS AREA.
- MAKE SURE MANHOLE COVERS ARE SECURE FOLLOWING CLEANING.
- DISPOSAL OF ALL MATERIAL REMOVED SHALL BE DONE IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REQUIREMENTS.
- A CONTRACT WITH A LICENSED HAULER SHALL BE IN PLACE FOR MAINTENANCE OF DRAINAGE STRUCTURES TO ENSURE THE LONG TERM PERFORMANCE OF THE DRAINAGE SYSTEM.
- THE DRAINAGE SWALES SHALL BE INSPECTED AND MOWED AT LEAST TWICE ANNUALLY. WEEDS AND OTHER VEGETATION SHALL BE REMOVED AS NECESSARY. THE OUTLETS SHALL BE INSPECTED TWICE ANNUALLY AND KEPT CLEAR OF DEBRIS. SEDIMENT AND DEBRIS SHALL BE REMOVED TWICE A YEAR. GRASS HEIGHT SHALL BE BETWEEN 3 AND 6 INCHES.
- THE INFILTRATION BASIN SHALL BE INSPECTED AFTER EVERY MAJOR STORM FOR THE FIRST 3 MONTHS AND ON A SEMI-ANNUAL BASIS AFTER TO ENSURE THAT IT IS FUNCTIONING PROPERLY AND THAT THE VEGETATION IS ADEQUATELY ESTABLISHED. IT SHALL BE INSPECTED FOR THE FOLLOWING: SLOPE INTEGRITY, SOIL MOISTURE, VEGETATIVE HEALTH, SOIL STABILITY, SOIL COMPACTION, SOIL EROSION, PONDING, AND SEDIMENT. REGULAR MAINTENANCE SHALL INCLUDE: REGULAR MOWING (NOT SHORTER THAN 4").
- THE CONTRACTOR WILL BE RESPONSIBLE FOR THE MAINTENANCE OF THE FOREBAYS AND BASIN UNTIL SUCH TIME AS THE SITE WORK IS COMPLETE. THE MAINTENANCE WILL THEN BE RESPONSIBILITY OF THE PROPERTY OWNERS.



CHAIN DUMPSTER FENCE DETAIL

NOT TO SCALE



9/14/23

SITE PLAN APPROVAL
WEST BOYLSTON PLANNING BOARD

DATE: 11-8-23

REV. NO.	DATE	REVISION
4	9/14/23	TOWN COMMENTS
3	8/16/23	TOWN COMMENTS / VHB COMMENTS
2	8/10/23	TOWN COMMENTS / VHB COMMENTS
1	6/14/23	TOWN COMMENTS / VHB COMMENTS

TITLE:
SITE DEVELOPMENT PLAN
AT
CENTURY DRIVE
WEST BOYLSTON, MASSACHUSETTS 01583

PREPARED FOR:
BIRDLAND HILL, LLC
14 PUTNAM LANE
WORCESTER, MASSACHUSETTS 01604

PREPARED BY:
J.M. GRENIER ASSOCIATES INC.
118 TURNPIKE ROAD SUITE 200
SOUTHBOROUGH, MASSACHUSETTS 01772

TELE NO.: (508) 845-2500 | jmgrenier@townisp.com

SCALE: AS SHOWN | DATE: FEBRUARY 28, 2023

SHEET NO.: SHEET 17 OF 17 | PROJECT NO.: G-664