

SITE DEVELOPMENT PLANS

PROPOSED BUILDING

29 PROSPECT STREET
WEST BOYLSTON, MA

ISSUED FOR PLANNING BOARD AND ZONING BOARD APPROVAL
NOVEMBER 15, 2021
REV. JANUARY 28, 2022
REV. MARCH 8, 2022

OWNER/APPLICANT

West Boylston Municipal Light Plant
4 Crescent Street
West Boylston, MA 01583
508.835.3681

BUILDING ARCHITECT

Sorensen Partners
15 Remington Street, #1
Cambridge, MA 02138
917.215.5796

CIVIL ENGINEER/LANDSCAPE ARCHITECT

DeVellis Zrein Inc.
P.O. Box 307
Foxborough, MA 02035
508.473.4114

BUIDING MEP ENGINEER

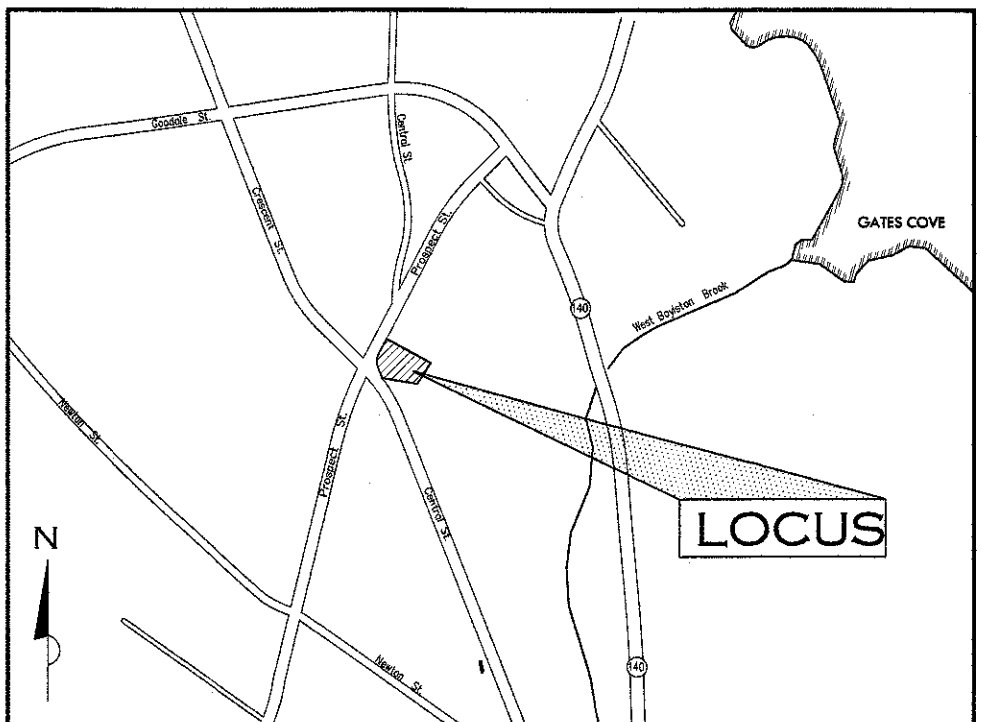
BLW Engineers Inc.
311 Great Road
Littleton, MA 01460
978.486.4301

TRAFFIC ENGINEER

Bayside Engineering
600 Unicorn Park Drive
Woburn, MA 01801
781.932.3201

SURVEYOR

Feldman Land Surveyors
152 Hampden Street
Boston, MA 02119
617.357.9740



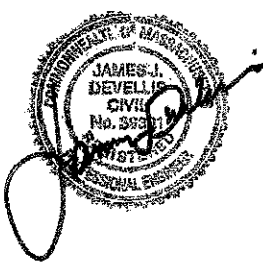
LOCUS PLAN

LIST OF DRAWINGS

- Cover Sheet
- Existing Conditions Survey
- SP-1 Demolition Plan
- C-1 Layout and Materials Plan
- C-2 Grading and Utility Plan
- C-3 Planting Plan
- C-4 Detail Sheet
- C-PPP Polution Protection Plan
- E-LTG3 Photometric Lighting Cacls, Exterior
- A2.10 First Floor Plan
- A3.20 North and South Elevations
- A3.21 East and West Elevations
- A3.22 Perspective Views

ZONING TABLE		
ZONE: BUSINESS DISTRICT USE: OFFICE AND PUBLIC UTILITY FACILITY		
	REQUIRED	PROVIDED
MIN. LOT AREA	43,560 SF	26,056 +/- SF
MIN. FRONTAGE	150 FT	176 +/- FT
MIN. SIDE YARD	10 FT	10.2 FT
MIN. REAR YARD	10 FT +	69.9 FT
MIN. FRONT SETBACK	10 FT	11.9 FT
MIN. PARKING SETBACK	10 FT	10.7 FT
PARKING:	1 SPACE/500SF 2408 SF(1,500) = 5 SPACES	
OFFICE SPACE		
TRUCK SPACE	=4 SPACES	
	9 TOTAL SPACES	9 SPACES

EXISTING IMPERVIOUS SURFACE = 18,100 SF
PROPOSED IMPERVIOUS SURFACE = 13,390 SF
IMPERVIOUS SURFACE REDUCTION = 4,710 SF



TOWN OF
WEST BOYLSTON
PLANNING BOARD

Samuel DeVellis
[Signature]
[Signature]
[Signature]

DATE: 4/13/2022



Worcester Registry of Deeds

PLAN BOOK 123, PLAN 4
PLAN BOOK 859, PLAN 3.

[illegible]

- BENCH MARK INFORMATION:
- BENCH MARK USED:
ELEVATIONS WERE OBTAINED BY GPS OBSERVATIONS ON NOVEMBER 16, 2020.
- TEMPORARY BENCH MARKS SET:
- TBM-1ST: 3'-00" ON BUILT ROOF OVER MAIN CULVERT ON HYDRANT AT THE INTERSECTION OF PROSPECT STREET AND CENTRAL STREET AS SHOWN IN ATTACHED PHOTO.
ELEVATION=483.65'
- TBM-2ND: SPIKE SET IN UTILITY POLE ON PROSPECT STREET DIRECTLY ACROSS FROM THE MAIN BUILDING ON SITE AS SHOWN HEREON.
ELEVATION=484.07'
- TBM-3RD: SPIKE SET IN UTILITY POLE ON CENTRAL STREET, AS SHOWN HEREON.
ELEVATION=485.40'
2. ELEVATIONS REFER TO NAVD83.
3. CONTOUR INTERVAL, EQUALS ONE (1) FOOT.
4. BY GRAPHIC PLACING ONLY, THE PLOTTED SHOWN HEREON LIES WITHIN A ZONE "X" (UNDEVELOPED) AN AREA OUTSIDE OF THE 0.62% ANNUAL CHANCE FLOOD AS SHOWN ON THE FLOOD INSURANCE RATE MAP (FIRM) FOR THE TOWN OF WESTPORT, MASSACHUSETTS, FIRM NUMBER 250270000E, TOWN OF WEST PORTLAND COMMUNITY NUMBER 255345, PANEL NUMBER 6008, HAVING AN EFFECTIVE DATE OF JAN 4, 2014.
5. FIELD SURVEY WORK TO LOCATE THE NEARBY CONSTRUCTED SIDEWALKS AND CURBING WAS PERFORMED BY FELDMAN LAND SURVEYORS ON MARCH 28, 2021.
6. UTILITY INFORMATION SHOWN IS BASED ON BOTH A FIELD SURVEY AND PLAN OF RECORD. THE LOCATION OF UTILITIES RELATES TO RECORD AND SOCIETY TO FELDMAN LAND SURVEYORS' OFFICE. RECORD SHOWN IS BASED ON BOTH A FIELD SURVEY AND PLAN OF RECORD. THE INFORMATIONED RECORD SHOWN PLANS ARE APPROXIMATE ONLY. WE CANNOT ASSURE THAT THE DATA FOR DIMENSIONS ACQUIRED AS A RESULT OF UTILITIES THAT ARE OBTAINED OR INACCURATELY SHOWN ON SAID RECORD PLANS, SINCE SUBSURFACE UTILITIES CANNOT BE EXPOSED BEFORE PLANNING FUTURE CONVECTIONS. THE PROPER UTILITY ENGINEERING DEPARTMENT SHOULD BE CONSULTED AND THE ACTUAL LOCATION OF SUBSURFACE STRUCTURES SHOULD BE DETERMINED IN THE FIELD, CALL TOLL FREE, THE CITY OF WESTPORT AT 1-888-344-7243 SEVENTY-TWO HOURS PRIOR TO EXCAVATION.
7. THIS DOCUMENT IS AN INSTRUMENT OF SERVICE OF FELDMAN LAND SURVEYORS SOLD TO OUR CLIENT FOR THE PURPOSES OF RELATING RECORD AND SOCIETY TO FELDMAN LAND SURVEYORS' SCOPE OF SERVICES UNDER CONTRACT TO OUR CLIENT FOR THIS PROJECT. ANY USE OF THIS DOCUMENT FOR ANY OTHER PURPOSES, INCLUDING BUT NOT LIMITED TO UNRELATED DIRECTED AND SOLELY BY SAID CONTRACT SHALL BE AT THE USER'S SOLE AND EXCLUSIVE RISK AND WITHOUT LIABILITY TO FELDMAN LAND SURVEYORS. ALL COPYRIGHT LAWS, UNLESS WRITTEN OTHERWISE IS PROVIDED BY FELDMAN LAND SURVEYORS.

DATE: 4/13/2022

[Signature]

TOWN OF
WEST BOSTON
PLANNING BOARD

Now or Formerly
JOSEPH BECK
BOOK 54184, PAGE 164
PARCEL ID 143_92

LOT AREA
26,056± SQ. FT.

Now or Formerly
TOWN OF WEST BOYLSTON
MUNICIPAL LIGHT PLANT
BOOK 63659, PAGE 286
PARCEL ID 143_93

Now or Formerly
RUSSELL A. & LOIS F. ALMSTROM
 BOOK 10066, PAGE 47
 PARCEL ID 143 94

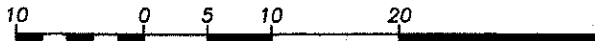
07/12/2021	ADDITIONAL UTILITY INFORMATION
06/29/2021	ADDITIONAL UTILITY INFORMATION

EXISTING CONDITIONS SURVEY
29 PROSPECT STREET
WEST BOSTON, MASS.

FELDMAN LAND SURVEYS
 152 HAMPDEN STREET
 BOSTON, MASS. 02119

MARCH 29, 2021
 PHONE: (617)357-9740
www.feldmansurveys.com

FELDMAN
 LAND SURVEYS



SCALE: 1" = 10'

RESEARCH BY	FIELD CHIEF TS	PROD MAN	MAC	APPROVED	SHEET NO. 1 OF 1
CALC. BY/MAC	CADD. CH	FIELD CHIEF/TS		ORD FILE 17746-C	JOB NO. 17746

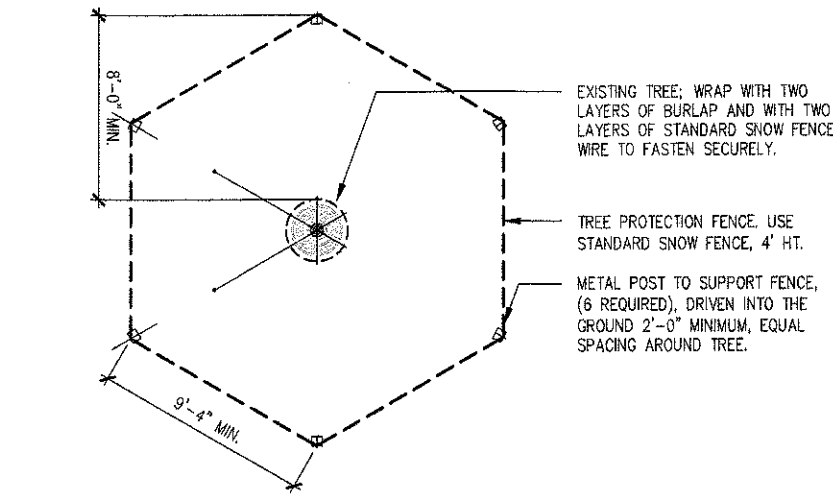
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DEMOLITION NOTES

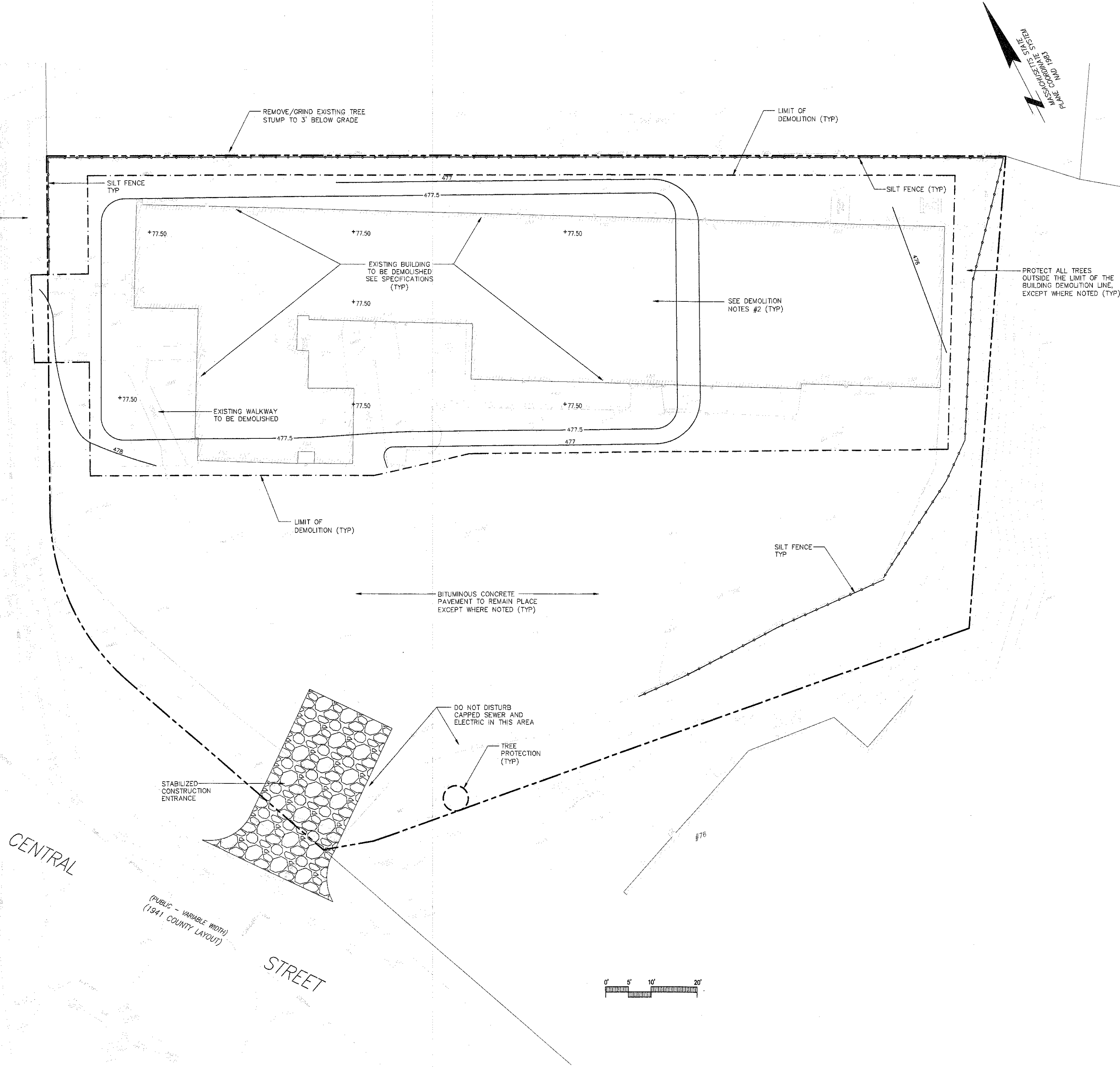
1. WITHIN THE LIMIT OF THE DEMOLITION LINE AS NOTED ON THE DEMOLITION PLAN, REMOVE AND DISCARD ALL BUILDING MATERIALS AND FOUNDATIONS, CONCRETE PAVEMENT, BITUMINOUS CONCRETE PAVEMENT, BRICK PAVEMENT, TOP SOIL, MULCH, TRASH, DEAD TREES AND STUMPS, SHRUBBERY, CHAIN LINK FENCE POSTS, UTILITIES (DRAINAGE STRUCTURES AND PIPES, GAS, ELECTRIC, ETC.), RAILS, FABRIC, GATES, FOOTINGS AND ALL APPURTENANCES, BOLARDS, POSTS, CONCRETE FOOTINGS AND FOUNDATIONS, WALLS AND ROOFS AND CURBS UNLESS OTHERWISE NOTED TO BE PROTECTED AND MAINTAINED. SPECIFIC ITEMS ARE DENOTED ON THE PLANS TO BE DEMOLISHED FOR ADDITIONAL CLARITY.
2. ESTABLISH FINISHED GRADES AS SHOWN ON THE PLAN. ALL FILL TO BE COMPACTED TO 95% COMPACTION. OWNER TO PROVIDE HORIZONTAL AND VERTICAL SURVEY CONTROL PRIOR TO START OF DEMOLITION.
3. A PERIMETER 8' TEMPORARY CONSTRUCTION FENCE IS TO BE INSTALLED AROUND THE BUILDING TO BE DEMOLISHED AS REQUIRED.
4. THE OWNER'S REPRESENTATIVE AND/OR THE ARCHITECT SHALL BE CONSULTED AND WILL REVIEW THE WORK ON SITE WITH THE CONTRACTOR BEFORE ANY WORK SHALL COMMENCE.
5. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS IN THE FIELD AND REPORT ANY DISCREPANCIES BETWEEN PLANS AND ACTUAL CONDITIONS TO THE OWNER'S REPRESENTATIVE AND/OR ARCHITECT PRIOR TO STARTING WORK.
6. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO EXISTING CONDITIONS TO REMAIN THAT ARE DUE TO CONTRACTOR OPERATIONS.
7. ALL ITEMS TO BE DEMOLISHED SHALL BE LEGALLY DISPOSED OF OFF SITE BY THE CONTRACTOR.
8. THE LOCATIONS OF UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED ON THE SURVEY REFERENCED. THE CONTRACTOR SHALL CONTACT DIGSAFE AND THE PROPER LOCAL AUTHORITIES OR RESPECTIVE UTILITY COMPANIES TO CONFIRM THE LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. ANY DAMAGE DUE TO FAILURE OF THE CONTRACTOR TO CONTACT THE PROPER AUTHORITIES SHALL BE BORNE BY THE CONTRACTOR.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING HIS EFFORTS OF THE DEMOLITION WITH ALL TRADES.
10. THE CONTRACTOR SHALL PROTECT AND MAINTAIN ALL CAPPED UTILITIES NEAR THE PROPERTY LINES.
11. THE CONTRACTOR SHALL MAINTAIN OR ADJUST TO NEW FINISH GRADE AS NECESSARY ALL UTILITY AND SITE STRUCTURES SUCH AS LIGHT POLES, SIGN POLES, MAN HOLES, CATCH BASINS, HAND HOLES, WATER AND GAS GATES, HYDRANTS, ETC., FROM MAINTAINED UTILITY AND SITE SYSTEMS UNLESS OTHERWISE NOTED OR DIRECTED BY THE OWNER'S REPRESENTATIVE.
12. EXISTING CONDITIONS INFORMATION IS REPRODUCED FROM THE SURVEY PREPARED BY FELDMAN LAND SURVEYORS OF BOSTON, MA AND IS DATED MARCH 29, 2021 AND REVISED THROUGH JULY 1, 2021.

EROSION CONTROL MEASURES

1. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY SITE EXCAVATION OR DISTURBANCE AND SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PROCESS. THE SMALLEST PRACTICAL AREA OF LAND SHALL BE EXPOSED AT ANY ONE TIME.
2. STABILIZE SLOPES GREATER THAN 3:1 (HORIZONTAL:VERTICAL) WITH SEED, SECURED GEOTEXTILE FABRIC, SPRAYED COMPOST BLANKET TO PREVENT EROSION DURING CONSTRUCTION.
3. ALL COLLECTED SEDIMENT AND DISCARDED TEMPORARY EROSION CONTROL MATERIALS SHALL BE DISPOSED OF PROPERLY IN ACCORDANCE WITH LEGAL DISPOSAL PRACTICES.
4. ALL TEMPORARY EROSION CONTROL MEASURES SHALL BE KEPT IN PLACE AFTER CONTRACTOR SCOPE IS COMPLETED.
5. DAMAGED OR DETERIORATED ITEMS ARE TO BE REPAIRED IMMEDIATELY AFTER IDENTIFICATION OR AS DIRECTED BY THE OWNER'S REPRESENTATIVE.
6. THE CONTRACTOR'S SITE SUPERINTENDENT WILL BE RESPONSIBLE FOR DAILY INSPECTIONS, MAINTENANCE, AND REPAIR ACTIVITIES.



TREE PROTECTION

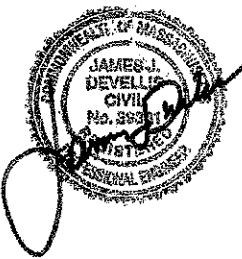


LEGEND

- PROPERTY LINE
- CONSTRUCTION ENTRANCE
- SILT FENCE LINE
- EXISTING TREE TO BE PROTECTED DURING CONSTRUCTION
- PROPOSED CONTOUR

SORENSEN

Sorensen Partners | Architects + Planners, Inc.
15 Remington St. #1 | Cambridge, MA 02138 | 617.215.5796
Drawing General Notes, Legends & Information



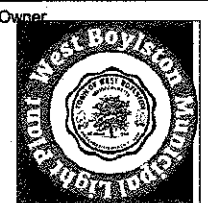
TOWN OF
WEST BOYLSTON
PLANNING BOARD

Signature
Signature
Signature

DATE: 4/13/2022

Rev 2 Peer Review Comments March 8, 2022
Rev 1 January 28, 2022

Project
29 Prospect Street Building Project
West Boylston Municipal Lighting Plant
4 Crescent Street, West Boylston, MA 01583



Project Number 1080

Date November 15, 2021

Project Status Planning Board Submission

Scale 1" = 10'

Consultant

DeVellis Zrein Inc.
Land Planning, Civil Engineering,
Landscape Architecture
P.O. Box 107
Falmouth, MA
www.devellis.com
tel. 508.391.8583

Drawing Title

Demolition Plan

Drawing Address 29 Prospect Street, West Boylston, MA 01583

Drawing No. SP-1

LAYOUT AND MATERIAL NOTES

- EXISTING CONDITIONS INFORMATION IS REPRODUCED FROM THE SURVEY PREPARED BY FELDMAN LAND SURVEYORS OF BOSTON, MA AND IS DATED MARCH 28, 2021 AND REVISED THROUGH JULY 1, 2021.
- THE LOCATIONS OF UNDERGROUND UTILITIES SHOWN ARE BASED ON THE SURVEY REFERENCED ABOVE. THE CONTRACTOR SHALL NOTIFY DISAFT AND THE PROPER LOCAL AUTHORITIES OR RESPECTIVE UTILITY COMPANIES TO CONFIRM THE LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. ANY DAMAGE DUE TO FAILURE OF THE CONTRACTOR TO CONTACT THE PROPER AUTHORITIES SHALL BE BORNE BY THE CONTRACTOR.
- CONTRACTOR(S) SHALL THOROUGHLY FAMILIARIZE THEMSELVES WITH ALL CONSTRUCTION DOCUMENTS, SPECIFICATIONS, AND SITE CONDITIONS PRIOR TO BIDDING AND PRIOR TO CONSTRUCTION.
- ANY DISCREPANCIES BETWEEN DRAWINGS, SPECIFICATIONS, AND SITE CONDITIONS SHALL BE REPORTED IMMEDIATELY TO THE OWNER'S REPRESENTATIVE FOR CLARIFICATION AND RESOLUTION PRIOR TO BIDDING OR CONSTRUCTION.
- ALL WORK CONDUCTED WITHIN PUBLIC RIGHT-OF-WAYS SHALL CONFORM TO THE REQUIREMENTS AND SPECIFICATIONS OF THE TOWN OF WEST BOYLSTON.
- SEE ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS AND ALL DETAILS CONTIGUOUS TO THE BUILDING, INCLUDING SIDEWALKS, RAMPS, UTILITY ENTRANCE LOCATIONS, WALL PACKS, CONCRETE DOOR PADS, ROOF DRAINS, ETC.
- ACCESSIBLE CURB RAMPS SHALL BE PER THE MASSACHUSETTS ARCHITECTURAL ACCESS BOARD (AAB) AND THE AMERICANS WITH DISABILITIES ACT (ADA) ACCESSIBILITY GUIDELINES, WHICHEVER IS MORE STRINGENT.
- THE FOLLOWING LAYOUT CRITERIA SHALL CONTROL, UNLESS OTHERWISE NOTED ON THE PLAN:
ALL DIMENSIONS ARE TO OUTSIDE FACE OF BUILDING.
ALL DIMENSIONS ARE TO FACE OF CURB AT OUTER LINE.
ALL DIMENSIONS ARE TO CENTER OF PAVEMENT MARKINGS.
ALL TIES TO PROPERTY LINES ARE PERPENDICULAR TO THE PROPERTY LINE UNLESS OTHERWISE NOTED.
- FOR LAYOUT AND DIMENSIONING OF BUILDINGS, SEE ARCHITECTURAL DRAWINGS.
- SCREENED IMAGES SHOW EXISTING CONDITIONS, WHERE EXISTING CONDITIONS LIE UNDER OR ARE IMPROVED UPON BY PROPOSED BUILDINGS AND/OR SITE ELEMENTS, THE EXISTING CONDITION WILL BE REMOVED, ABANDONED AND/OR DAPPED OR DEMOLISHED AS REQUIRED.

STREET

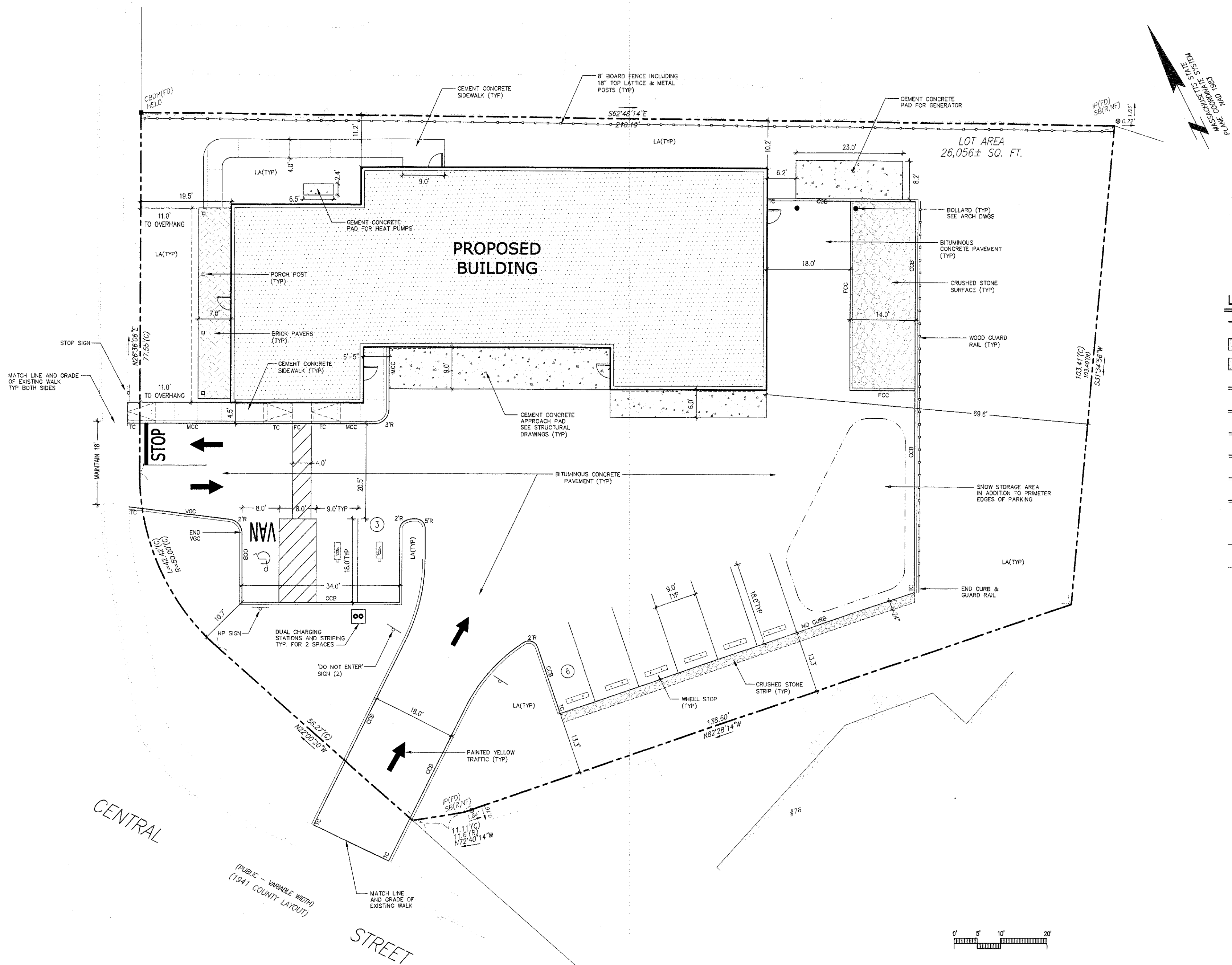
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(1941 COUNTY LAYOUT)

PROSPECT

CENTRAL

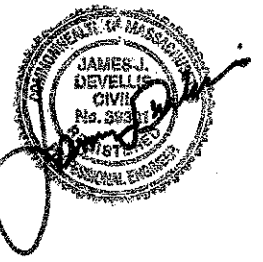
(PUBLIC - VARIABLE WIDTH)
(1941 COUNTY LAYOUT)

STREET



LEGEND

---	PROPERTY LINE
---	CEMENT CONCRETE PAVEMENT
---	BRICK PAVERS
---	MCC
---	MONOLITHIC CONCRETE CURB
---	VGC
---	VERTICAL GRANITE CURB
---	COB
---	CAPE COD BERM
---	TC
---	TRANSITION CURB
---	FC
---	FLUSH CURB
---	FCC
---	FLUSH CONCRETE CURB
---	LA
---	LANDSCAPE AREA
---	FENCE
---	SAW CUT LINE
---	SON



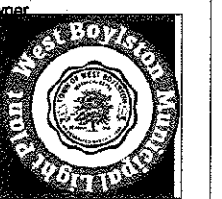
TOWN OF
WEST BOYLSTON
PLANNING BOARD

Sarah K. McS
William
Christina
Paul & Benjamin

DATE: 4/13/2022

Rev 2 Peer Review Comments March 8, 2022
Rev 1 January 28, 2022

Project
29 Prospect Street Building Project
West Boylston Municipal Lighting Plant
4 Crescent Street, West Boylston, MA 01583



Project Number 1080

Date November 15, 2021

Project Status Planning Board Submission

Scale 1" = 10'

Consultant

DeVellis Zrein Inc.

Drawing Title

Layout and
Materials Plan

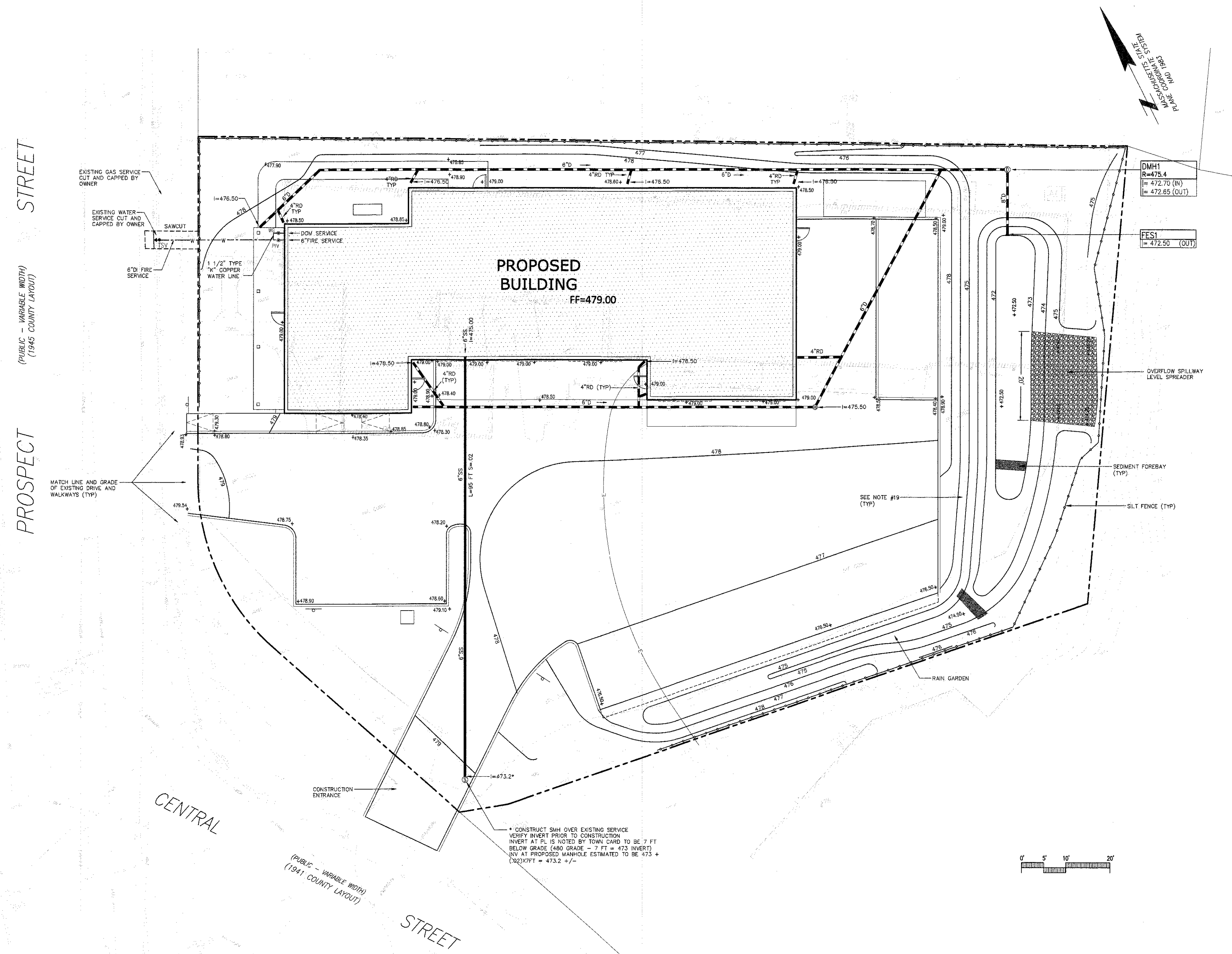
Drawing Address 29 Prospect Street, West Boylston, MA 01583

Drawing No.

C-1

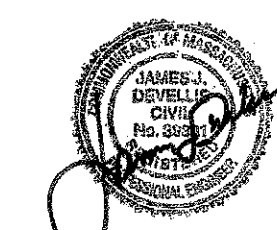
GRADING AND UTILITY NOTES

- EXISTING CONDITIONS INFORMATION IS REPRODUCED FROM THE SURVEY PREPARED BY FIDELMAN LAND SURVEYORS OF BOSTON, MA AND IS DATED MARCH 29, 2021 AND REVISED THROUGH JULY 1, 2021.
- PRIOR TO THE START OF ANY EXCAVATION FOR THE PROJECT, BOTH ON AND OFF THE SITE, THE CONTRACTOR SHALL NOTIFY DUSAPE AND BE PROVIDED WITH A DISSECT NUMBER INDICATING THAT ALL EXISTING UTILITIES HAVE BEEN LOCATED AND MARKED.
- CONTRACTOR TO ADJUST UTILITY ELEMENT MEANT TO BE FLUSH WITH GRADE (CLEAN-OUTS, UTILITY MANHOLES, CATCH BASINS, INLETS, ETC.) THAT IS AFFECTED BY SITE WORK OR GRADE CHANGES, WHETHER SPECIFICALLY NOTED ON PLANS OR NOT.
- ALL CONSTRUCTION TO BE DONE IN ACCORDANCE WITH TOWN OF WEST BOYLSTON DEPARTMENT OF PUBLIC WORKS STANDARDS.
- THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MAY BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PROTECT ALL UNDERGROUND UTILITIES.
- WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION, AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED TO THE ENGINEER FOR RESOLUTION OF THE CONFLICT.
- THE CONTRACTOR SHALL ALTER THE MASONRY OF THE TOP SECTION OF ALL EXISTING DRAINAGE STRUCTURES AS NECESSARY FOR CHANGES IN GRADE, AND RESET ALL WATER AND DRAINAGE FRAMES, GRATES, AND BOXES TO THE PROPOSED FINISH SURFACE GRADE.
- THE CONTRACTOR SHALL MAKE ALL ARRANGEMENTS FOR THE ALTERATION AND ADJUSTMENT OF ALL GAS, ELECTRIC, TELEPHONE, AND ANY OTHER PRIVATE UTILITIES BY THE UTILITY COMPANIES.
- CONTRACTOR SHALL MAINTAIN, OR ADJUST TO NEW FINISH GRADE, AS NECESSARY ALL UTILITY AND SITE STRUCTURES SUCH AS: JUMP HOLES, SIGN POLES, MANHOLES, CATCH BASINS, HAND HOLES, WATER AND GAS GATES, HYDRANTS, ETC., FROM MAINTAINED UTILITY AND SITE SYSTEMS, UNLESS OTHERWISE NOTED OR DIRECTED BY OWNER'S REPRESENTATIVE.
- ALL CEMENT LINED DUCTILE IRON JOINTS AT FITTINGS (CLASS 52), VALVES, AND HYDRANT LATERALS SHALL BE MECHANICAL JOINT WITH NEOPRENE GASKETS. JOINTS AT OTHER LOCATIONS SHALL BE PUSH-ON TYPE WITH NEOPRENE OR SYNTHETIC RUBBER GASKETS. ALL WATER GATES SHALL OPEN AS PER CITY REQUIREMENTS. ALL WATER LINES SHALL HAVE A MINIMUM OF 5.5 FEET OF GROUND COVER AND A MINIMUM OF 10 FOOT SEPARATION FROM THE SEWER SYSTEM. AT WATER AND SEWER CROSSINGS, THE WATER LINE SHALL BE ENCASED IN SIX INCHES OF CONCRETE FOR A DISTANCE OF 10 FEET ON EITHER SIDE OF THE CROSSING.
- ALL SEWER PIPES SHALL BE PVC PER ASTM D3034, SDR-35 AND ASTM D1784 WITH RUBBER GASKET JOINTS.
- SITE LIGHTING IS SHOWN ON THIS PLAN FOR COORDINATION PURPOSES ONLY. REFER TO ELECTRICAL PLANS FOR EXACT TYPE AND LOCATION.
- REFER TO ELECTRICAL PLANS FOR SECTIONS AND DETAILS OF THE UTILITY DUCT BANK.
- AREAS OUTSIDE THE LIMITS OF PROPOSED WORK DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED BY THE CONTRACTOR TO THEIR ORIGINAL CONDITION, AT THE CONTRACTOR'S EXPENSE.
- REFER TO ARCHITECTURAL PLANS FOR PROPOSED LOCATION OF UTILITY SERVICE STUBS AT BUILDING.
- THE LOCATION, SIZE, DEPTH, AND SPECIFICATIONS FOR CONSTRUCTION OF PRIVATE UTILITY SERVICES SHALL BE INSTALLED ACCORDING TO THE REQUIREMENTS PROVIDED BY, AND APPROVED BY, THE RESPECTIVE UTILITY COMPANY (GAS, TELEPHONE, ELECTRICAL). FINAL DESIGN AND LOCATIONS AT THE BUILDING WILL BE PROVIDED BY THE ARCHITECT. THE CONTRACTOR SHALL COORDINATE THE INSTALLATION OF THE UTILITY CONNECTIONS WITH THE RESPECTIVE COMPANIES PRIOR TO ANY UTILITY CONSTRUCTION.
- WHERE PROPOSED GRADES MEET EXISTING GRADES, CONTRACTOR SHALL BLEND GRADES TO PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING AND NEW WORK. PONDING AT TRANSITION AREAS WILL NOT BE ALLOWED.
- CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM ALL BUILDING FOUNDATIONS, STRUCTURES AND PLANTING BEDS.
- MAXIMUM SLOPE IN DISTURBED AREAS SHALL NOT EXCEED 3:1, UNLESS OTHERWISE NOTED. ALL SLOPES 3:1 OR STEEPER TO RECEIVE JUTE NETTING IMMEDIATELY AFTER FINISHED GRADES ARE ESTABLISHED.
- CONTRACTOR SHALL VERIFY EXISTING GRADES AND NOTIFY OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES.
- SCREENED IMAGES SHOW EXISTING CONDITIONS. WHERE EXISTING CONDITIONS ARE IMPAIRED UPON BY PROPOSED BUILDINGS AND/OR SITE ELEMENTS, THE EXISTING CONDITION WILL BE REMOVED, ABANDONED AND/OR CAPPED OR DEMOLISHED AS REQUIRED.



GRADING AND UTILITY LEGEND

-----	PROPERTY LINE
-----	SEWER LINE
-----	DRAIN LINE
-----	WATER LINE
-----	GAS LINE
UG-E/T/P/A	UNDERGROUND ELECTRIC, TELEPHONE, FIRE ALARM
112	PROPOSED CONTOUR MINOR LINE
-----	SILT FENCE
+100.50	SPOTGRADE
FES	FLARED END SECTION
DMH	DRAIN MANHOLE
SMH	SEWER MANHOLE
WG	WATER GATE
TSV	TAPPING SLEEVE AND GATE
T	TRANSFORMER
⊙	CLEAN OUT
TOW=226.00	TOP OF WALL ELEVATION
RD	ROOF DRAIN
PIV	POST INDICATOR VALVE



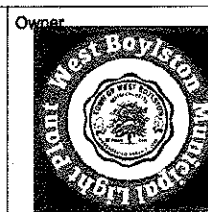
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Sarah K. McQuinn
Jeffrey J. McQuinn
James J. McQuinn

DATE: 4/13/2022

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Consultant
Land Planning, Civil Engineering,
Landscape Architecture
PO Box 307
West Boylston, MA
www.develis.com
617.293.4500
DeVelis Zrein Inc.

Drawing Title
Grading and
Utility Plan
Drawing Address 29 Prospect Street, West Boylston, MA 01583
Drawing No. C-2

PLANT SCHEDULE

SYMBOL	BOTANICAL NAME	COMMON NAME	QTY	SIZE	COMMENT
DECIDUOUS TREES					
AM	ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY MAPLE	2	3-3 1/2" CAL.	
QA	QUERCUS ALBA	WHITE OAK	1	6" CAL.	ALT 3.5'
GT	QUERCUS TRACANTHOS 'NEMUS'	THORNLESS HONEYLOCUST	2	3-3 1/2" CAL.	
ORNAMENTAL TREES					
AC	AMELANCHIER CANADENSIS	SHADBLOW	3	6-7" HT.	CLUMP
CC	CERIS CANADENSIS	EASTERN RED BUD	3	6-7" HT.	CLUMP
EVERGREEN TREES					
PN	PINUS NIRA	AUSTRIAN PINE	10	6-7" HT.	CLUMP
SHRUBS					
HA	HYDRANGEA ARB. INVINCIBELLE WEE WHITE	DWARF WHITE HYDRANGEA	5	5 CAL.	
IM	ALEX MESERVIC BLUE PRINCESS	BLUE PRINCESS HOLLY	20	24-36" HT.	
RC	RHOECODENDRON CINNABARIS	WHITE RHOECODENDRON	10	24-36" HT.	
PERENNIALS AND GROUND COVER					
EC	ECHINACEA BUTTERFLY KISSES	PINK CONE FLOWER	25	1 GAL.	
HS	HOSTA AST.	ASSORTED HOSTAS	10	1 GAL.	

RAIN GARDEN AND DETENTION BASIN PLANT SCHEDULE

SYMBOL	BOTANICAL NAME	COMMON NAME	QTY	SIZE	COMMENT
ACx	AMELANCHIER CANADENSIS	SHADBLOW	12	3-4" HT.	
HW	HAMAMELIS VIRGINIANA	WITCH HAZEL	15	3-4" HT.	
RAIN GARDEN SHRUBS					
AV	AZALEA VISCOSUM	SWAMP AZALEA	6	18-24"	
CA	CLETHRA ALNIFOLIA	SUMMERSHET	5	18-24"	
VA	VACCINIUM AUGUSTIFOLIA	LOW BUSH BLUEBERRY	12	18-24"	
PERENNIALS AND SEDGES RAIN GARDEN					
AN	ASTER NOVEA-ANGLIA	NEW ENGLAND ASTER	25	1 GAL.	FIELD LOCATE
CA	CAREX PENNSYLVANICA	PENNSYLVANIA SEDGE	25	1 GAL.	FIELD LOCATE
IA	IRIS VERSICOLOR	BLUE FLAG IRIS	25	1 GAL.	FIELD LOCATE
OS	ONOCLEA SENSIOLIS	SENSIBLE FERN	25	1 GAL.	FIELD LOCATE

PLANTING NOTES

- EXISTING CONDITIONS INFORMATION IS REPRODUCED FROM THE SURVEY PREPARED BY FELDMAN LAND SURVEYORS OF BOSTON, MA AND IS DATED MARCH 29, 2021 AND REVISED THROUGH JULY 1, 2021.
- THE LOCATIONS OF UNDERGROUND UTILITIES SHOWN ARE BASED ON THE SURVEY REFERENCED ABOVE. THE CONTRACTOR SHALL CONTACT GASBURY AND THE PROPER LOCAL AUTHORITIES OR RESPECTIVE UTILITY COMPANIES TO CONFIRM THE LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. ANY DAMAGE DUE TO FAILURE OF THE CONTRACTOR TO CONTACT THE PROPER AUTHORITIES SHALL BE BORNE BY THE CONTRACTOR.
- CONTRACTOR SHALL BEGIN MAINTENANCE IMMEDIATELY AFTER PLANTING AND WILL CONTINUE UNTIL FINAL WRITTEN ACCEPTANCE OF PLANT MATERIAL.
- LANDSCAPE ARCHITECT TO FLAG ALL TREES TO BE TRANSPLANTED PRIOR TO CONSTRUCTION START.
- CONTRACTOR SHALL VERIFY ALL TREE REMOVALS AND/OR TRANSPLANTS WITH OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION START.
- CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM ALL BUILDING FOUNDATIONS, STRUCTURES, AND PLANTING BEDS.
- MAXIMUM SLOPE WITHIN DISTURBED AREAS SHALL NOT EXCEED 3:1, UNLESS OTHERWISE NOTED.
- THE LANDSCAPE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE ALL PLANTINGS SHOWN ON THIS DRAWING.
- ALL MATERIALS SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION.
- ALL PLANTS SHALL BEAR THE SAME RELATIONSHIP TO FINISH GRADE AS TO ORIGINAL GRADES BEFORE DIGGING.
- ALL PLANTS TO BE BALLED IN BURLAP OR CONTAINERIZED.
- MULCH FOR PLANTED AREAS TO BE AGED PINE BARK, PARTIALLY DECOMPOSED, DARK BROWN IN COLOR AND FREE OF WOOD CHIPS THICKER THAN 1/4 INCH.
- PLANTING SOIL MIX: LOAM THOROUGHLY INCORPORATED WITH ROTTED MANURE PROPORTIONED 5 C.Y. TO 1 C.Y. OR EQUIVALENT. FERTILIZER ADDED PER RECOMMENDED RATES OF SOIL ANALYSIS.
- THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIALS FOR ONE (1) FULL YEAR FROM DATE OF ACCEPTANCE.
- ALL PLANT MATERIALS ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT, AT THE NURSERY, AND AT THE SITE.
- ALL AREAS OF THE SITE WHICH HAVE BEEN DISTURBED AND NOT OTHERWISE DEVELOPED SHALL BE LOADED AND SEEDED WITH A MINIMUM DEPTH OF 6" DEPTH TOPSOIL.
- PLANT SPECIES AS INDICATED IN THE PLANT LIST ARE SUGGESTIONS ONLY. FINAL SELECTION OF SPECIES SHALL OCCUR AT THE TIME OF PLANT PURCHASE, DEPENDING ON AVAILABILITY. PLANT SIZE AND QUANTITY SHALL NOT CHANGE WITHOUT APPROVAL OF OWNER'S REPRESENTATIVE.

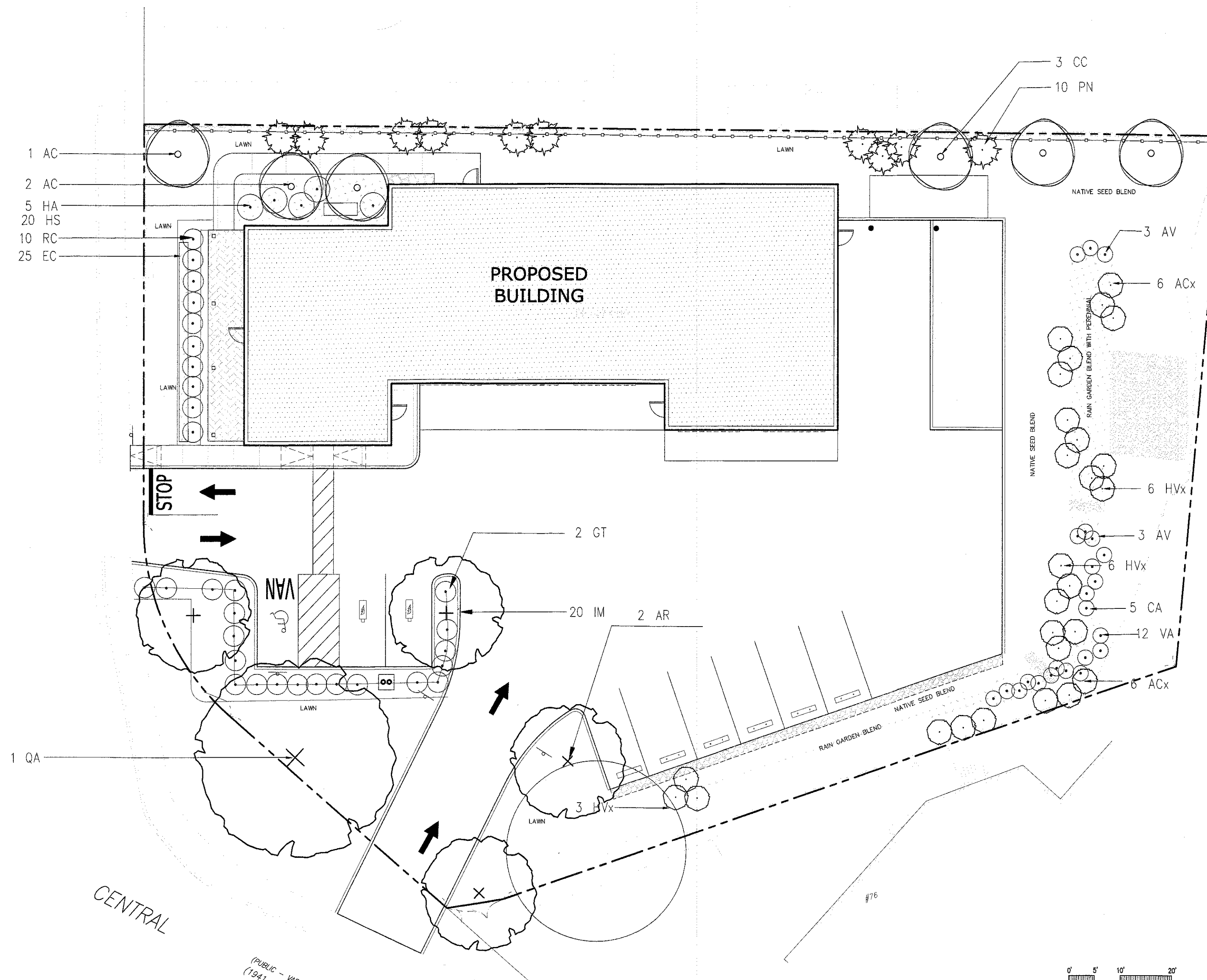
STREET

(PUBLIC - VARIABLE WIDTH)
(1945 COUNTY LAYOUT)

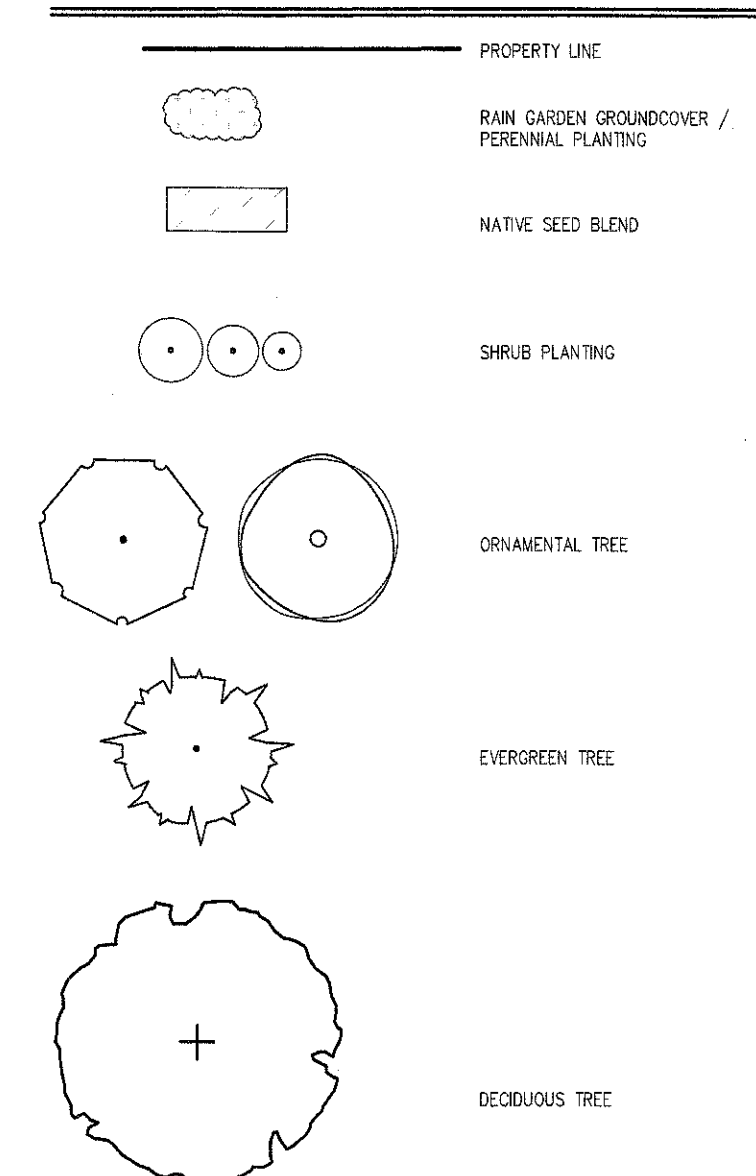
PROSPECT

CENTRAL

(PUBLIC - VARIABLE WIDTH)
(1941 COUNTY LAYOUT)



PLANTING LEGEND



SORENSEN

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15 Remington St. #1 | Cambridge, MA 02138 | 917.215.6796
Drawing General Notes, Legends & Information



TOWN OF
WEST BOYLSTON
PLANNING BOARD

[Signatures]

DATE: 4/13/22

Rev 2 Peer Review Comments March 8, 2022
Rev 1 January 28, 2022

Project: 29 Prospect Street Building Project
West Boylston Municipal Lighting Plant
4 Crescent Street, West Boylston, MA 01583

Project Number: 1080

Date: November 15, 2021

Project Status: Planning Board Submission

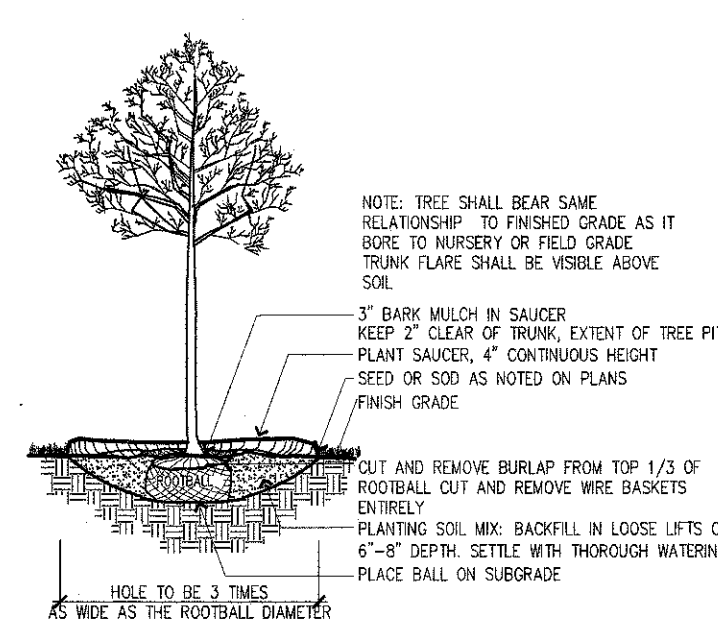
Scale: 1" = 10'

Consultant: DeVellis Zrein Inc.

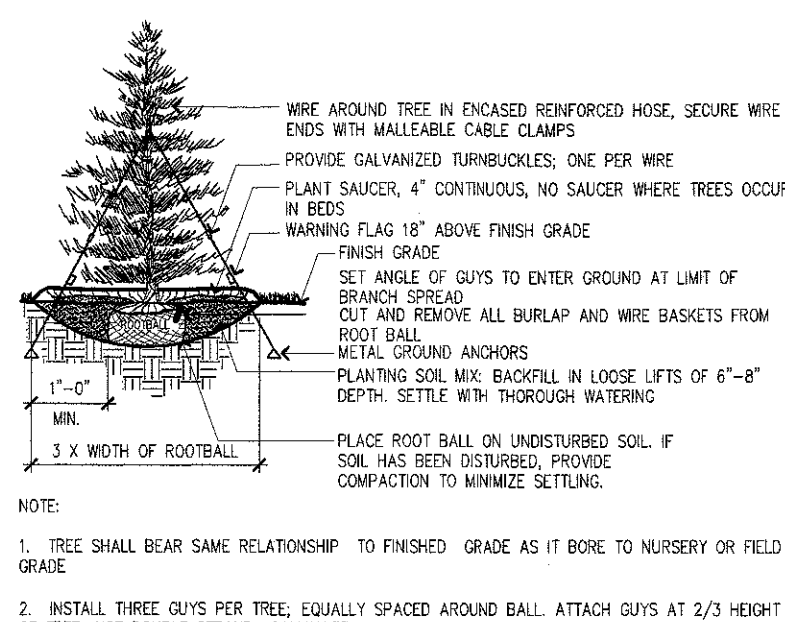
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Drawing Address: 29 Prospect Street, West Boylston, MA 01583

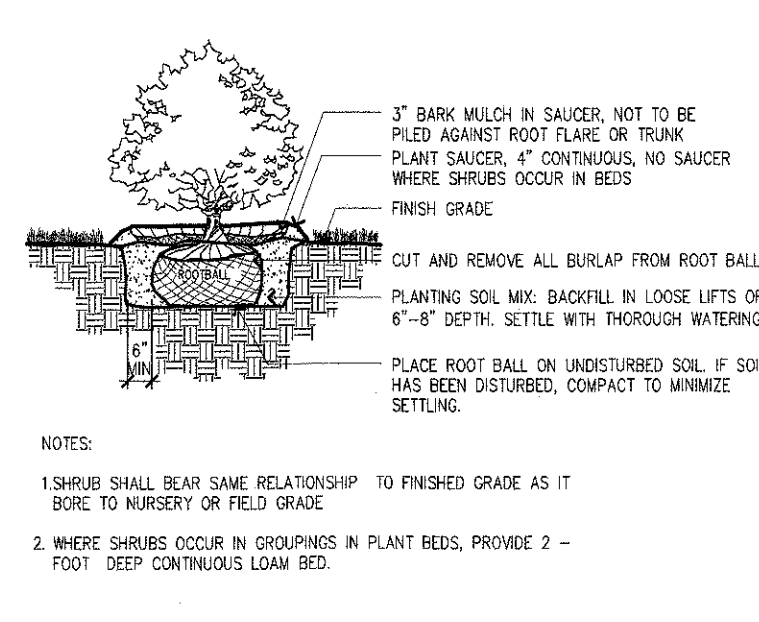
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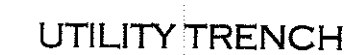
DECIDUOUS TREE PLANTING



EVERGREEN TREE PLANTING

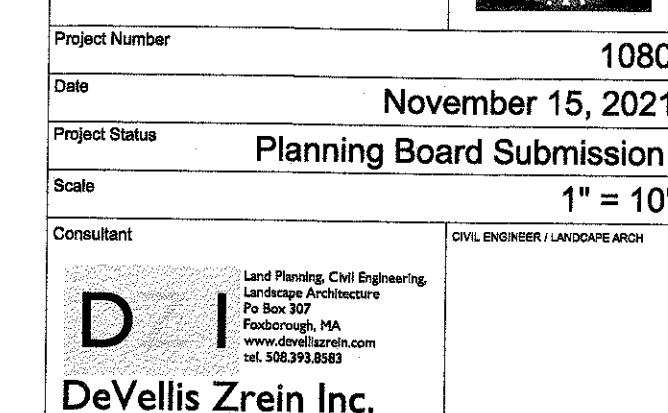


SHRUB PLANTING



DATE: 4/13/2022

Rev 2 Peer Review Comments March 8,2022
Rev 1 January 28,2022



Drawing Title _____

Detail Sheet

Drawing Address **29 Prospect Street, West Boylston, MA 01583**

C-4

STREET

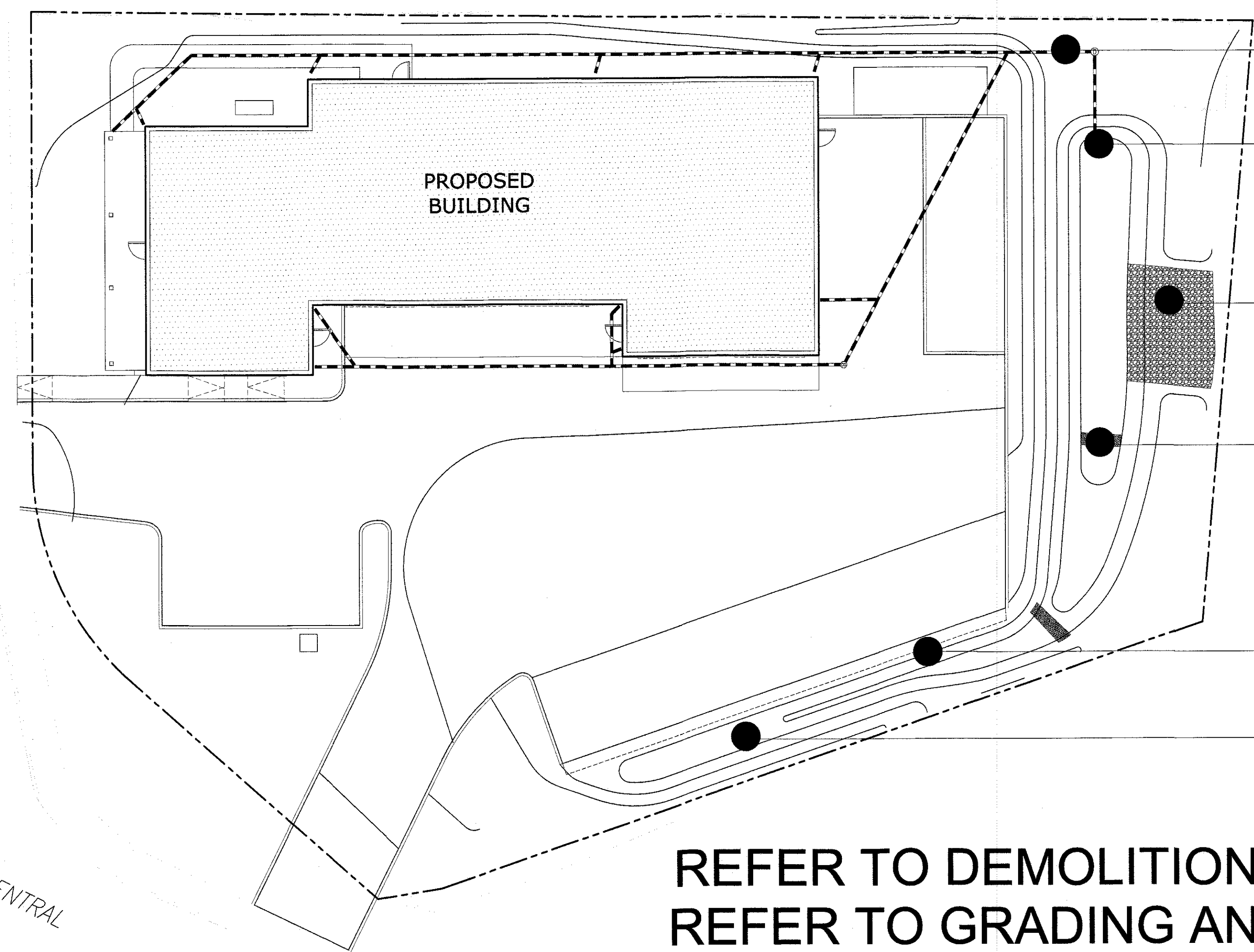
(PUBLIC - VARIABLE WIDTH)
(1945 COUNTY LAYOUT)

PROSPECT

CENTRAL

(PUBLIC - VARIABLE WIDTH)
(1941 COUNTY LAYOUT)

STREET



ROOF COLLECTION PIPING

INLET

OVERFLOW SPILLWAY
FOREBAY

BASIN
RAIN GARDEN / SWALE

STONE TRENCH
SWALE

REFER TO DEMOLITION PLAN SP-1
REFER TO GRADING AND UTILITY PLAN C-2
REFER TO PLANTING PLAN C-3
REFER TO OPERATION AND MAINTENANCE REPORT

Stormwater Operation and Maintenance Plan

West Boylston Municipal Lighting Plant

29 Prospect Street
West Boylston, Massachusetts



Owner and Applicant:
West Boylston Municipal Light Plant
4 Crescent Street
West Boylston, MA 01583

Prepared by:
Civil Engineers, Landscape Architects & Site Planners
DeVellis Zrein Inc.
PO Box 307
Foxboro, MA 02035
www.develliszein.com

March 8, 2022

Stormwater Operation and Maintenance Plan

As part of the West Boylston Planning Board Permit application, DeVellis Zrein Inc. has prepared this report as a guide to establish maintenance protocol for the on-site drainage improvements serving the proposed West Boylston Municipal Lighting Plant facility project. The goal of the Storm Water Operation and Maintenance Plan is to protect abutting and off-site resources in the region that may be affected by the activities at the site.

DRAINAGE AND GENERAL SITE (UPLAND AREAS)
The proposed site drainage improvements include:

- Rain Garden / Forebay / Swale
- Roof Gutter and Inlet Cleaning
- Landscaping

The proposed water quality treatment measures will result in improved removal of the total suspended solids (TSS) load in runoff from the site for the proposed parking improvements as well as throughout the existing parking areas.

An effective drainage maintenance program will ensure that the removal of TSS from the stormwater runoff continues for the life of the facility. The Operation and Maintenance Plan will be implemented by the Owner of the property.

Source Control

The first tier of non-structural controls includes a comprehensive source control program of regular sweeping and maintenance of the stormwater management components.

Pavement Sweeping Program

The removal of contaminants directly from paved surfaces before contact with storm water is a valuable method for reducing pollutant loading in stormwater.

It is proposed that the parking and drive areas will be cleaned on a bi-annual basis with two sweepings per year. Sweeping at the beginning of spring is recommended and at the end of fall. Because of the small size of the project, the sweeping can be accomplished with a traditional street sweeper or through routine landscape maintenance with hands sweeping and blowers.

Rain Garden and Swale

The rain garden and swale at the southern edge of the parking and into the eastern area will collect stormwater and allow the stormwater to collect and gently travel through and rise within the swale before it discharges into the sediment forebay and detention basin. The selected plantings will clean the water and provide habitat and

food for the wildlife. In the summer months, the rain gardens also allows the stormwater water to cool and infiltrate into the soil systems. This area provides surface stormwater mitigation which can easily be maintained and cared for and is located in a highly visible area that will be cared for.

Rain Garden Forebay

The rain garden and swale will collect stormwater from the paved parking and drive areas. The forebay in addition to the planted swale will allow the collection of any sands and silts. This area will be planted with indigenous hardy plants that can withstand winter and summer conditions and is easily accessible for cleaning. A stone channel is designed to protect and define the area and limits for silt removal purposes.

Roof Gutter and Inlet Cleaning

An underground piped stormwater collection system to collect clean roof runoff is proposed. It is imperative that the roof runoff be allowed to enter into the system unobstructed and unrestricted. It is required that the roof outlets (roof opening/gutter/downspouts) be inspected annually at the end of each fall and cleaned if obstructed.

Landscaping

The site currently contains minimal landscaping. The proposed project provides extensive additional landscaping along the perimeter.

A landscape plan has been provided to include hardy indigenous plants that are appropriate to survive in a parking environment in New England winters.

Plantings will be protected from plows by curb stops, a stone strip and a guard rail, however snow storage areas may overlap the planting areas and at times, the plants may be beneath snow piles. This is per design. During the spring, the hardy plants are designed to reemerge unaffected. However, additional Operation and Maintenance requirements will assure the plantings will survive.

In the spring, the owner shall verify that the plants planted and included on the Planting Plan remain in good health in perpetuity. If there is damage, the plants are to be replaced in the same manner.

During Construction

- Prior to construction, install erosion and sediment control measures as shown on the plan and details.
- The site contractor shall inspect all sediment and erosion control structures after each rainfall event and at the end of the working day.
- All measures shall be maintained in good working order. If repair is necessary, it shall be initiated within 24 hours of inspection.
- Silt shall be removed from the silt controls if 3-inches or greater and as needed.

- Sediment shall be contained within the construction site and away from drainage structures.
- Damaged or deteriorated erosion control measures will be repaired immediately after identification. Haybales shall not be used.
- The silt fence shall be kept in close contact with the ground and reset as necessary.
- The contractor's site superintendent will be responsible for inspection, maintenance and repair activities.
- All disturbed areas will be treated with 4" of topsoil and seed.
- Remove siltation controls upon completion of permanent vegetation over disturbed areas.

Post Construction

The following site performance requirements are to be established at the property.

- Parking and drive areas will be cleaned with sweeper on a bi-annual basis with four (2) sweepings per year. Sweeping at the beginning of each season is recommended.
- Inspect the perimeter landscaping annually. In the spring, for erosion of side slopes, embankments, and accumulated sediment. Necessary sediment removal, earth repair and/or reseeded shall be performed immediately upon identification.
- Inspect the stone strip along parking, stone barrier at forebay and along swale and the stone overflow spillway yearly. Stones shall be kept in place and adjusted if necessary.
- Routinely pick up and remove litter from the parking areas, islands and perimeter landscape area, in addition to pavement sweeping.
- Inspect and clean roof inlets yearly.

Stormwater Management System Owner

This site is owned by the West Boylston Municipal Lighting Plant who will continue to perform site maintenance and operations.

The owner's representative at this time is:

Jonathan Filch
General Manager
West Boylston Municipal Lighting Plant
4 Crescent Street
West Boylston, MA 01583
filch@wbmlp.org
978-580-6717

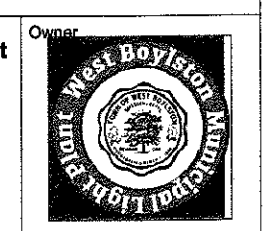
TOWN OF
WEST BOYLSTON
PLANNING BOARD

Joseph K. McLean
John J. McLean
Charles J. McLean
James R. McLean

DATE: 4/13/2022

Rev 2 Peer Review Comments March 8, 2022
Rev 1 January 26, 2022

Project:
29 Prospect Street Building Project
West Boylston Municipal Lighting Plant
4 Crescent Street, West Boylston, MA 01583



Project Number: 1080

Date: November 15, 2021

Project Status: Planning Board Submission

Scale: 1" = 10'

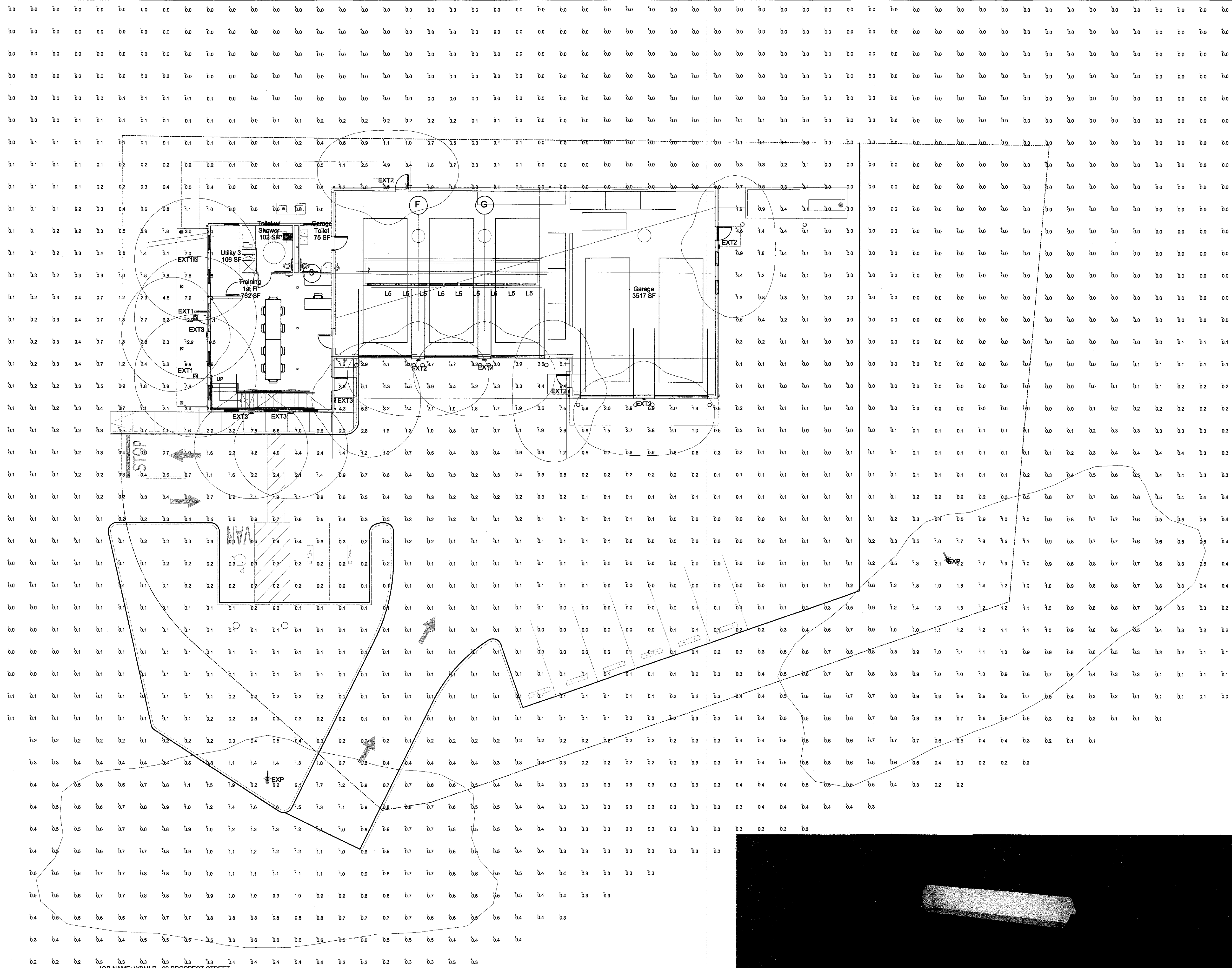
Consultant: DeVellis Zrein Inc.

DeVellis Zrein Inc.
Land Planning, Civil Engineering,
Landscape Architecture
PO Box 307
Foxboro, MA 02035
www.develliszein.com
tel: 508.393.8583

Drawing Title: Pollution Prevention Plan

Drawing Address: 29 Prospect Street, West Boylston, MA 01583

Drawing No.: C-PPP

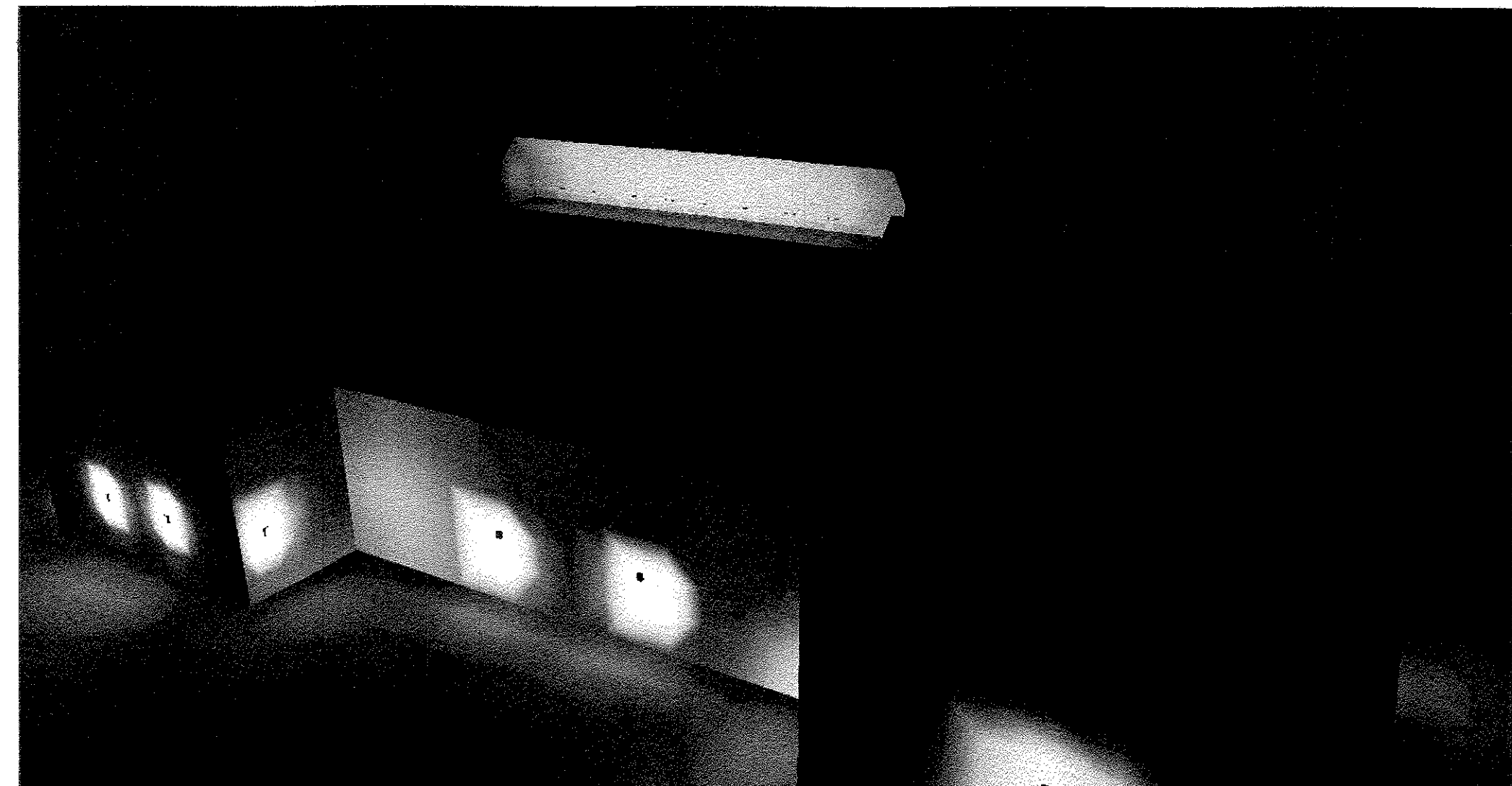


JOB NAME: WMHLP - 29 PROSPECT STREET
APEX LIGHTING SOLUTIONS
WORKPLANE/CALC PLANE: AT FINISH GRADE
MOUNTING HEIGHT: SEE LUMINAIRE SCHEDULE
APPS: LED
SALES: DT
SPECIFIER: BLW ENGINEERS

1 Photometric Plan
SCALE: 1/8"=1'-0"

Luminaire Schedule						
Qty	Label	Arrangement	Lumens	Input Watts	LLF	BUG Rating
2	EXP	Single	7045	58	0.850	B1-U0-G2
9	L5	Single	181	4.3	0.850	B0-U1-G0
3	EXT1	GROUP	N.A.	N.A.	0.850	N.A.
6	EXT2	Single	1509	15.1239	0.842	B1-U0-G1
4	EXT3	Single	1470	31	1.845	B1-U3-G1
Description						
EXISTING COOPER XNV 53W TYPE II / MOUNTED TO 25FT POLE						
PRECISELED BEAW-1FT-24V-95C-30K-WET / MOUNTED IN CUPOLA						
THOMAS 8603EH/60 / SUSPENDED FROM CANOPY @ 7FT 10IN AFG TO BOF						
TRACE-LITE WLZ1-3-3K-BF / WALL MOUNTED @ 5FT10IN AFG TO BOF						
ASL LHA-W31-VOLT-4000K-W7 / WALL MOUNTED @ 5FT 10IN AFG TO BOF						

Calculation Summary						
Label	Grid Height	Avg	Max	Min	Avg/Min	Max/Min
GROUND	0	0.21	12.9	0.0	N.A.	N.A.



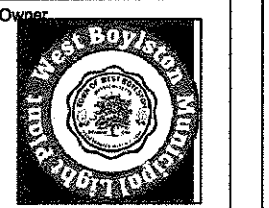
2 Cupola Photometric Rendering
SCALE: Not To Scale

TOWN OF
WEST BOYLSTON
PLANNING BOARD

[Signature]
[Signature]
[Signature]

DATE: 4/13/2022

Project: 29 Prospect Street Building Project
West Boylston Municipal Lighting Plant
4 Crescent Street, West Boylston, MA 01585



Project Number: 1080
Date: 21 December 2021
Project Status: 100% CD

Scale:
Consultant:
Architect:

Drawing Title:
**ELECTRICAL
PHOTOMETRIC LIGHTING
CALCS, EXTERIOR**

Drawing Address: 29 Prospect Street, West Boylston, MA 01583

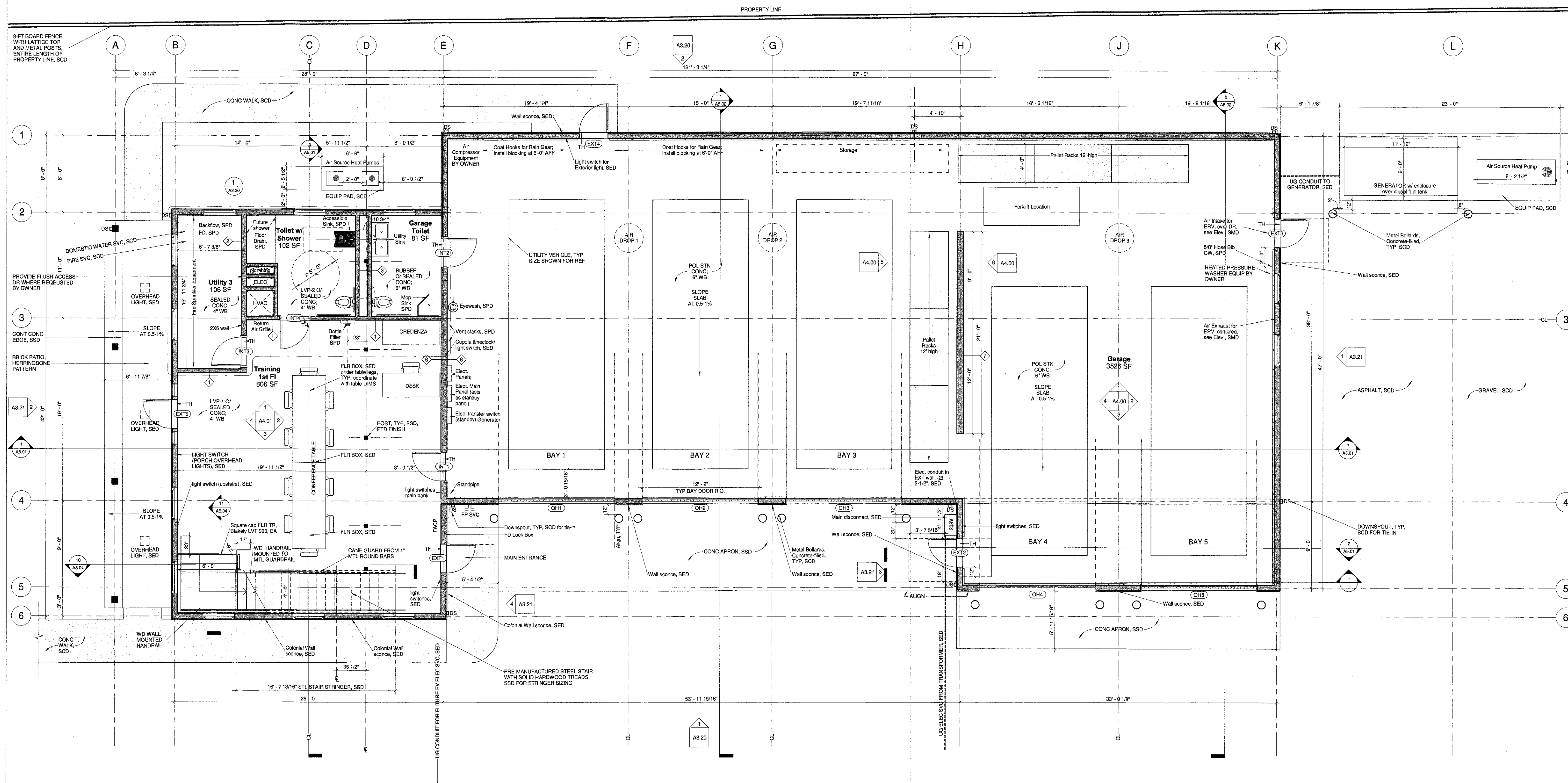
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15 Remington St. #1 | Cambridge, MA 02138 | 917.215.5796

Drawing General Notes, Legends & Information

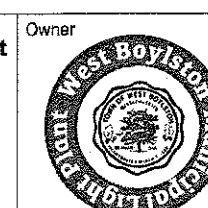


TOWN OF
WEST BOYLSTON
PLANNING BOARD

Sach K. Hies
Chair
Christy P.
Barry R. B.

DATE: 4/13/2022

Project
29 Prospect Street Building Project
West Boylston Municipal Lighting Plant
4 Crescent Street, West Boylston, MA 01583

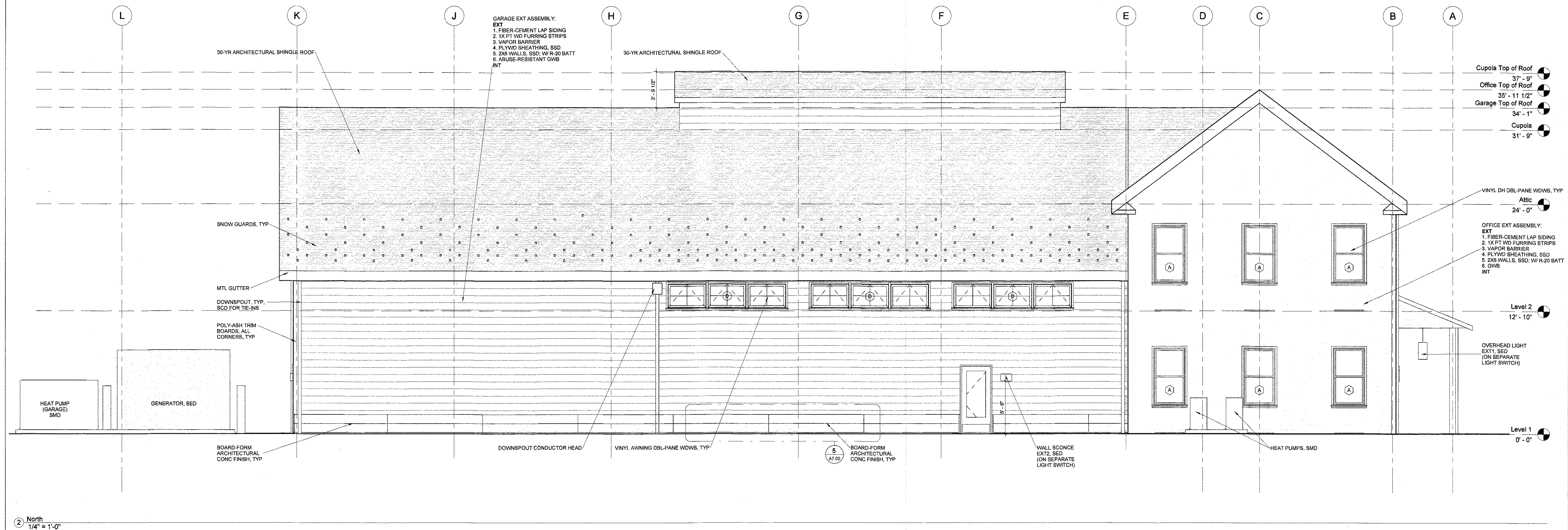
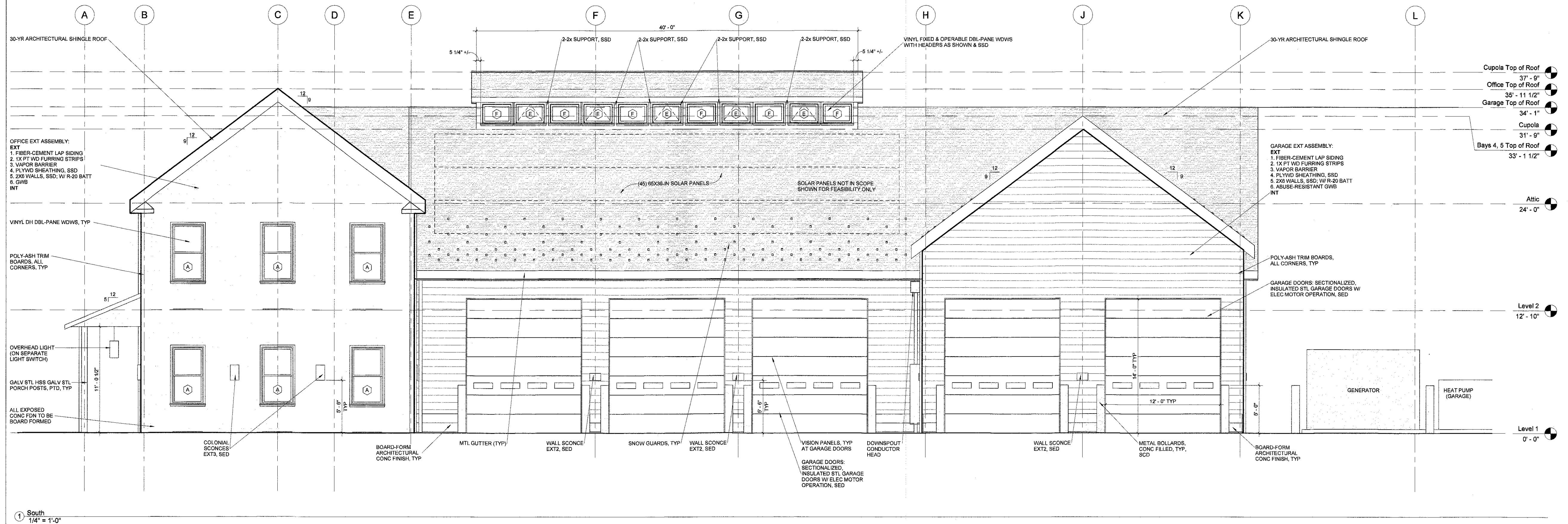


Project Number 1080
Date 21 December 2021
Project Status 100% Construction Documents
Scale 1/4" = 1'-0"
Consultant Architect

Drawing Title
1ST FLOOR PLAN

Drawing Address 29 Prospect Street, West Boylston, MA 01583
Drawing No.

A2.10

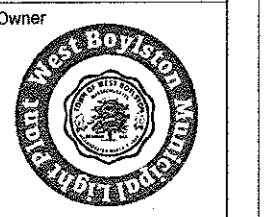


TOWN OF
WEST BOYLSTON
PLANNING BOARD

Sgt. K. M. S.
West Boylston
Paul R. Boylston

DATE: 4/13/2022

Project
29 Prospect Street Building Project
West Boylston Municipal Lighting Plant
4 Crescent Street, West Boylston, MA 01583

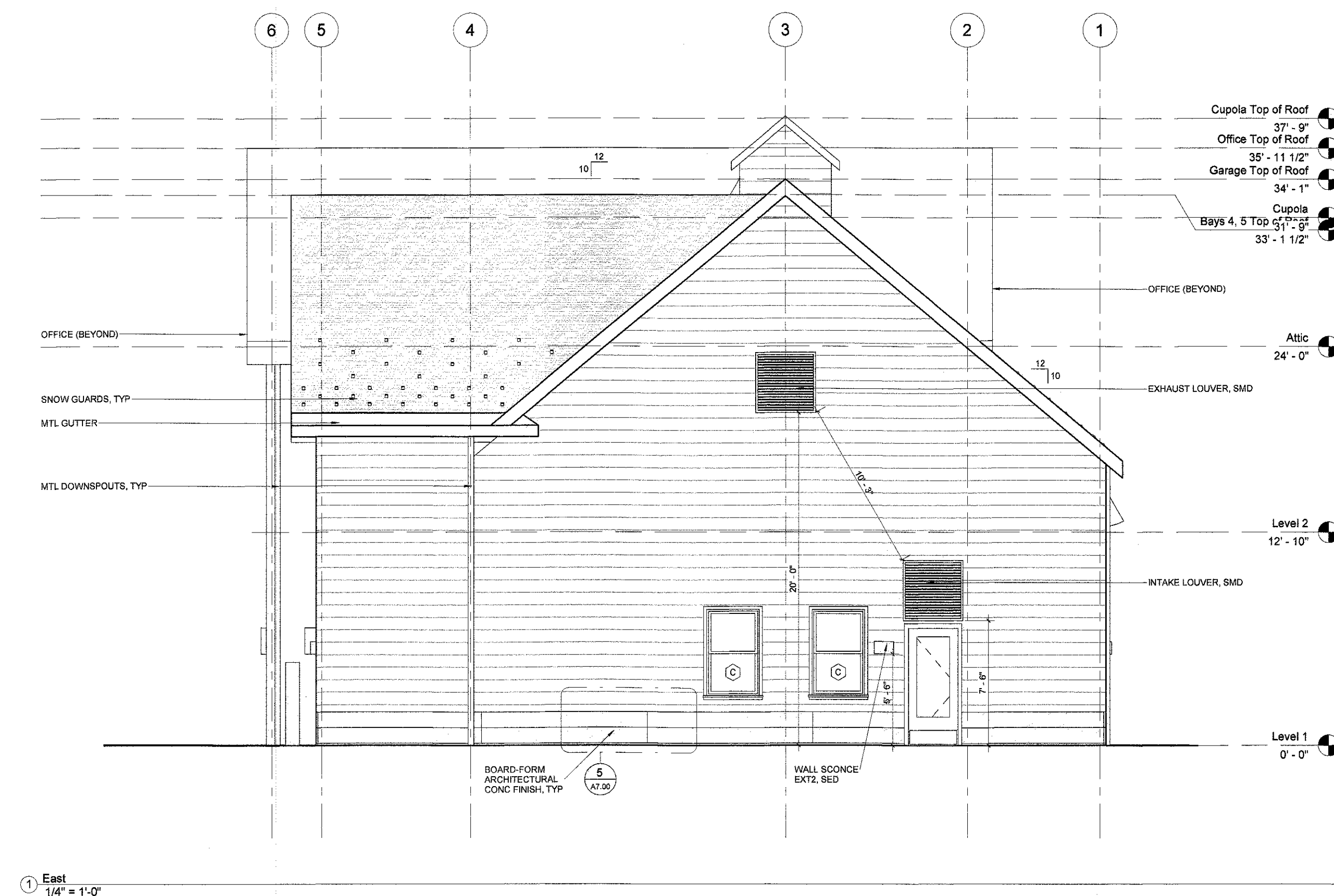
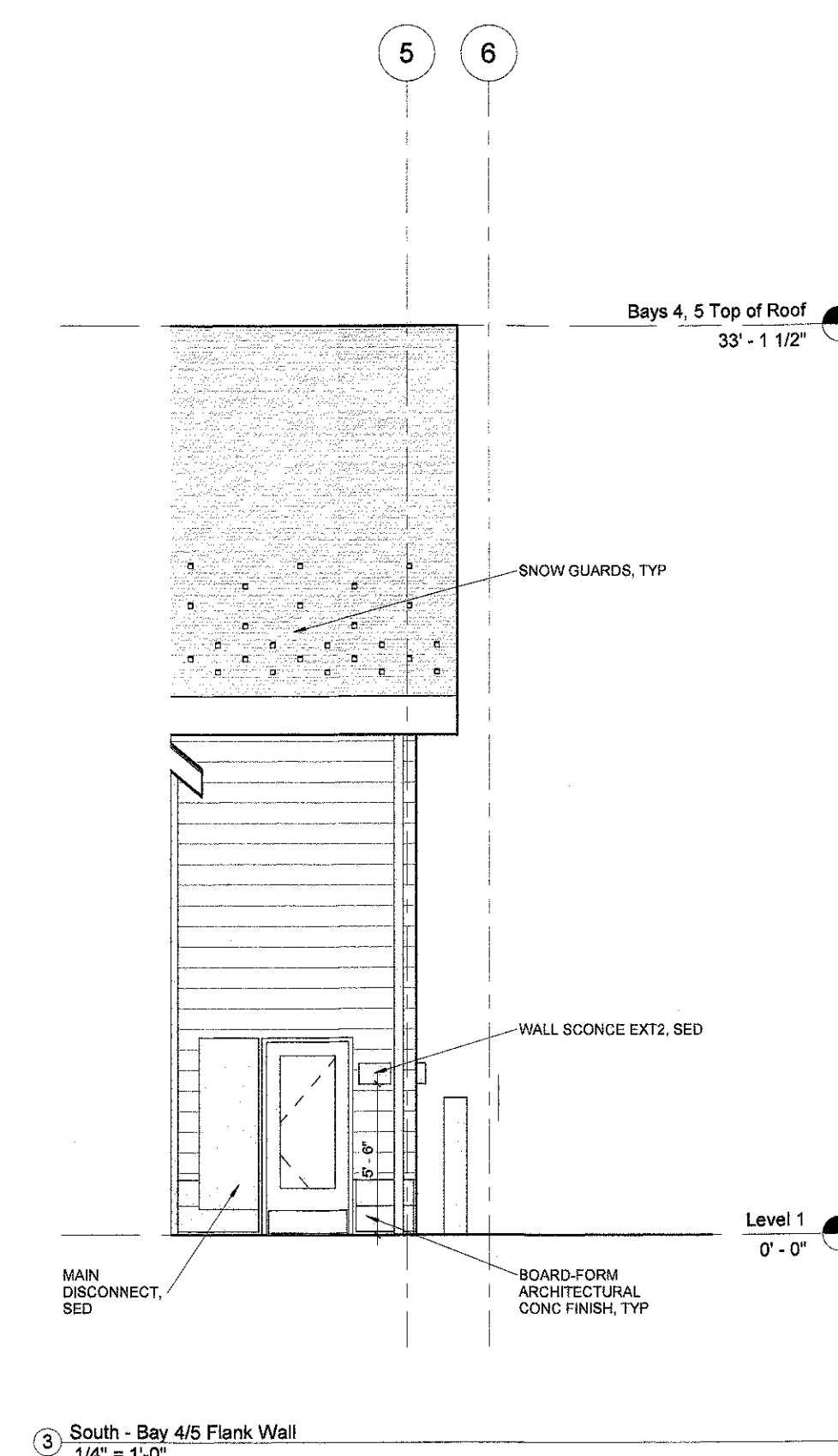
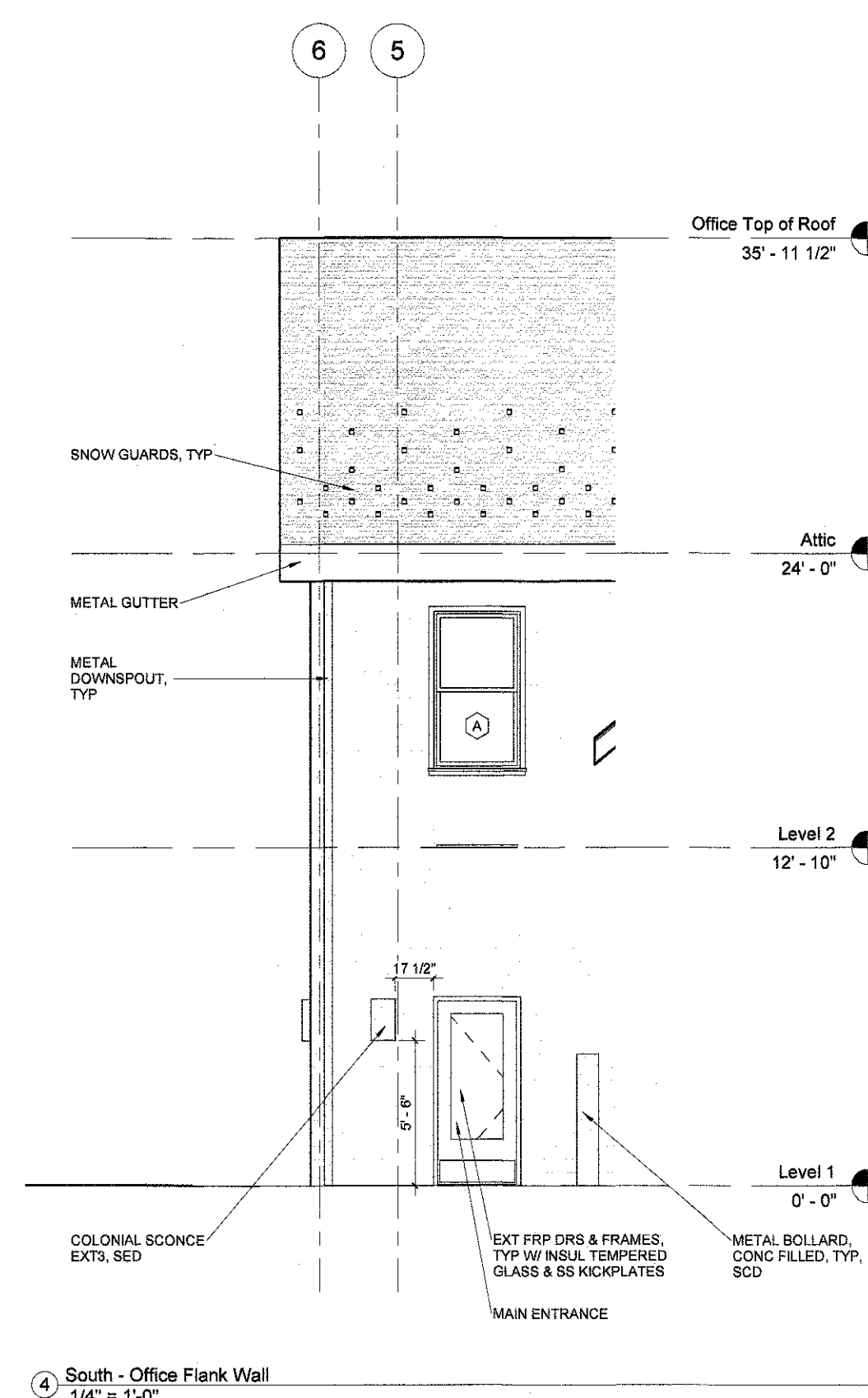


Project Number 1080
Date 21 December 2021
Project Status 100% Construction Documents
Scale 1/4" = 1'-0"
Consultant Architect

Drawing Title
**NORTH & SOUTH
EXTERIOR ELEVATIONS**

Drawing Address 29 Prospect Street, West Boylston, MA 01583
Drawing No.

A3.20



TOWN OF WEST BOYLSTON PLANNING BOARD

David K. Hill
West Boylston
James K. Hill

DATE: 4/13/2022

Project
29 Prospect Street Building Project
West Boylston Municipal Lighting Plant
4 Crescent Street, West Boylston, MA 01583

Owner
West Boylston
Town of West Boylston

Project Number 1080

Date 21 December 2021

Project Status 100% Construction Documents

Scale 1/4" = 1'-0"

Consultant Architect

Drawing Title
**EAST & WEST EXTERIOR
ELEVATIONS**

Drawing Address 29 Prospect Street, West Boylston, MA 01583

Drawing No.

A3.21

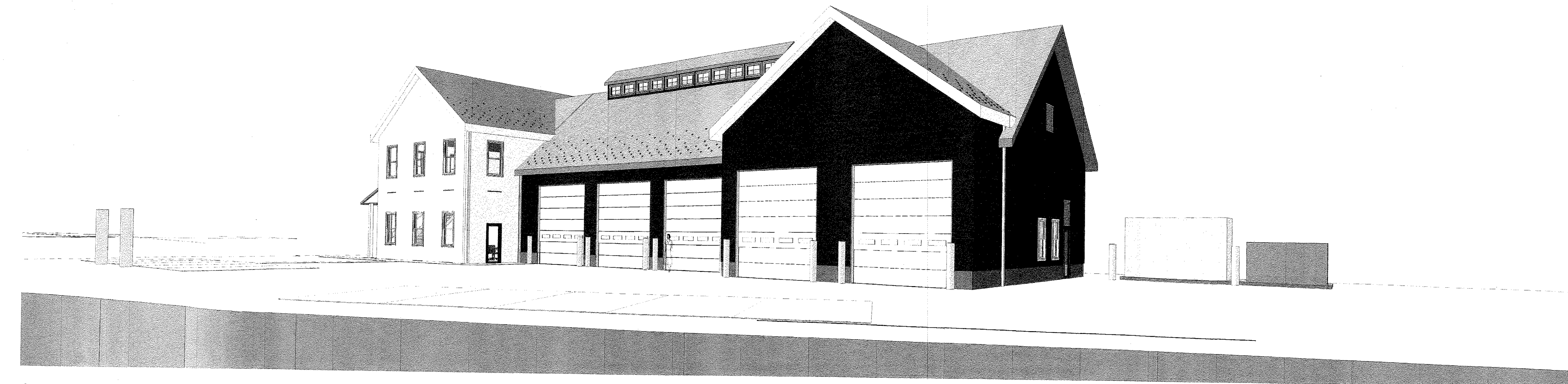
SORENSEN

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15 Remington St. #1 | Cambridge, MA 02138 | 917.215.5796

Drawing General Notes, Legends & Information

VIEWS GENERAL NOTES

1. PERSPECTIVE VIEWS REPRESENT APPROXIMATE MASSINGS, MATERIALS, COLORS, AND BUILDING ELEMENTS. PLEASE REFER TO THE ARCHITECTURAL FLOOR PLANS, ELEVATION DRAWINGS, SPECIFICATIONS, SCHEDULES AND OTHER DETAILS FOR EXACT ELEMENTS, LOCATIONS, AND DIMENSIONS.
2. SITE ELEMENTS SHOWN IN PERSPECTIVE VIEWS REPRESENT APPROXIMATE LOCATIONS AND HEIGHTS. PLEASE REFER TO THE CIVIL DRAWINGS FOR EXACT ELEMENTS, LOCATIONS, AND DIMENSIONS.



1 SE VIEW



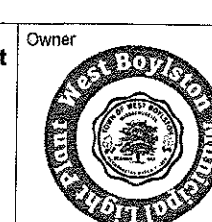
2 SW VIEW

TOWN OF WEST BOYLSTON PLANNING BOARD

Sam K. [Signature]
[Signature]
[Signature]
[Signature]

DATE: 4/13/2022

Project
29 Prospect Street Building Project
West Boylston Municipal Lighting Plant
4 Crescent Street, West Boylston, MA 01583



Project Number 1080

Date 21 December 2021

Project Status 100% Construction Documents

Scale

Consultant Architect

Drawing Title PERSPECTIVE VIEWS

Drawing Address 29 Prospect Street, West Boylston, MA 01583

Drawing No.

A3.22